



BOARD OF ZONING APPEALS APPLICATION

Please reach out to a City of Knoxville Zoning Examiner about your project before submitting a variance application.

APPLICANT INFORMATION

Name (Individual not company) Jim Wright
 Street Address 800 Northshore Drive
 City, State, Zip Knoxville, TN 37917
 Phone Number 865-207-8572
 Applicant Email jimwright@fishpantry.org

APPLICANT IS:

Owner
 Contractor
 Tenant
 Other

THIS PROPOSAL PERTAINS TO:

New Structure
 Modification of Existing Structure
 Off Street Parking
 Signage
 Other

THIS IS A REQUEST FOR:

- Zoning Variance (Building Permit Denied) Extension of Non-Conforming Use/or Structure
 Appeal of Administrative Official's Decision Map Interpretation

PROPERTY INFORMATION

Street Address 236 W. Scott Avenue City, State, Zip Knoxville, TN 37917
 See KGIS.org for Parcel # 081NE003 City Council District # 4 and Zoning District I-MU

VARIANCE REQUIREMENTS

City of Knoxville Zoning Ordinance Article 16, Section 16.3

The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.

The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

DESCRIPTION OF APPEAL

Describe your project and why you need variances.

A. The project involves construction of a new FISH Pantry Warehouse (4,888 SF) to store additional food donations for Knoxville citizens in need of food (groceries) assistance. For food pallet storage use only, not for public distribution of food. However, a zoning variance is required due to a direct conflict between the City's zoning and engineering department requirements. In short, the building cannot be placed within the required Build-To-Zone and meet the minimum distance requirements for the loading dock entrance from the nearest intersection.

B. Zoning - Article 6.4.A Design Standards 30% transparency to be placed between 2'-0" - 10'-0" on the walls above grade facing Davanna and West Scott. Request to have the transparency requirements to be reduced from 30% to 0%. The project stores pallets of food on the floor and on shelving that occurs along the interior of the walls facing Davanna and West Scott. The intent of this project is to maximize storage of pallets of food for those in need.

Describe hardship conditions that apply to this variance.

See attached continuation sheet, elevations, floor plan and site plan.

Site plans and any other relevant information associated with the hardship must accompany this application.

APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE

DATE 5/24/2023

Continuation Sheet for Variance Request

Hardship Conditions that apply to this variance.

- A. The I-MU zoning requires a Build-To-Zone ranging from 0 to 25 feet, and the engineering department requires driveways/entrances to be located 50 feet (min.) from the nearest intersection. Currently, the loading dock entrance is 52 feet from the nearest intersection and the southwest corner of the building is 7.5 feet outside the Build-To-Zone. See site plan for details.
- B. The zoning requirement is to provide 30% transparency along the front facades between 2'-0" and 10'-0" above grade.
Davanna Ave and West Scott facing walls are considered to be front facades.

The walls that are required to maintain 30% transparency along Davanna Ave. and West Scott are designed to have shelving along them and delivery dock.

Hardship

- Limitations of wall area for transparency
 - The West Scott elevation (short elevation)
 - The Dock which is elevated above grade by 48"
 - The wall contains (2) 3'x7' man doors, and a 12'W x 10H loading dock door.
 - Stair access to the dock along the wall with railing overlap
 - Interior storage shelving along the wall
 - Davanna Ave. elevation (long elevation)
 - Interior storage shelving along the entire length of the wall.
 - X bracing along one 25' wall bay.

The walls would not provide any transparency beyond a view of the cases of food if the shelving were to remain along these walls. The purpose of this building is to store as much food as possible. Moving shelving from the exterior walls would greatly reduce the capacity.

- Theft
 - There is a large population of homeless located close by. We would prefer to not provide the temptation to this community.
 - Windows at this level would be more of an advertisement of access to the products that are intended for distribution vs a nondescript business that would attract less attention.
- Damage
 - Damage to the installed windows from the above associated with theft.
 - Forklift will be used to stack product on shelving. Operator error has potential to break windows in this wall area.
 - Windows would provide a void in the wall for any dropped boxes to fall between palletted goods below and the window area potentially causing breakage.
 - Windows next to the cases of food would accelerate deterioration of stored food.

The cost of window replacement would take away from the mission of Fish Food Pantries to provide food to the needy

Jim Wang LL 5/24/23

File #



BOARD OF ZONING APPEALS APPLICATION

*******OFFICE USE ONLY*******

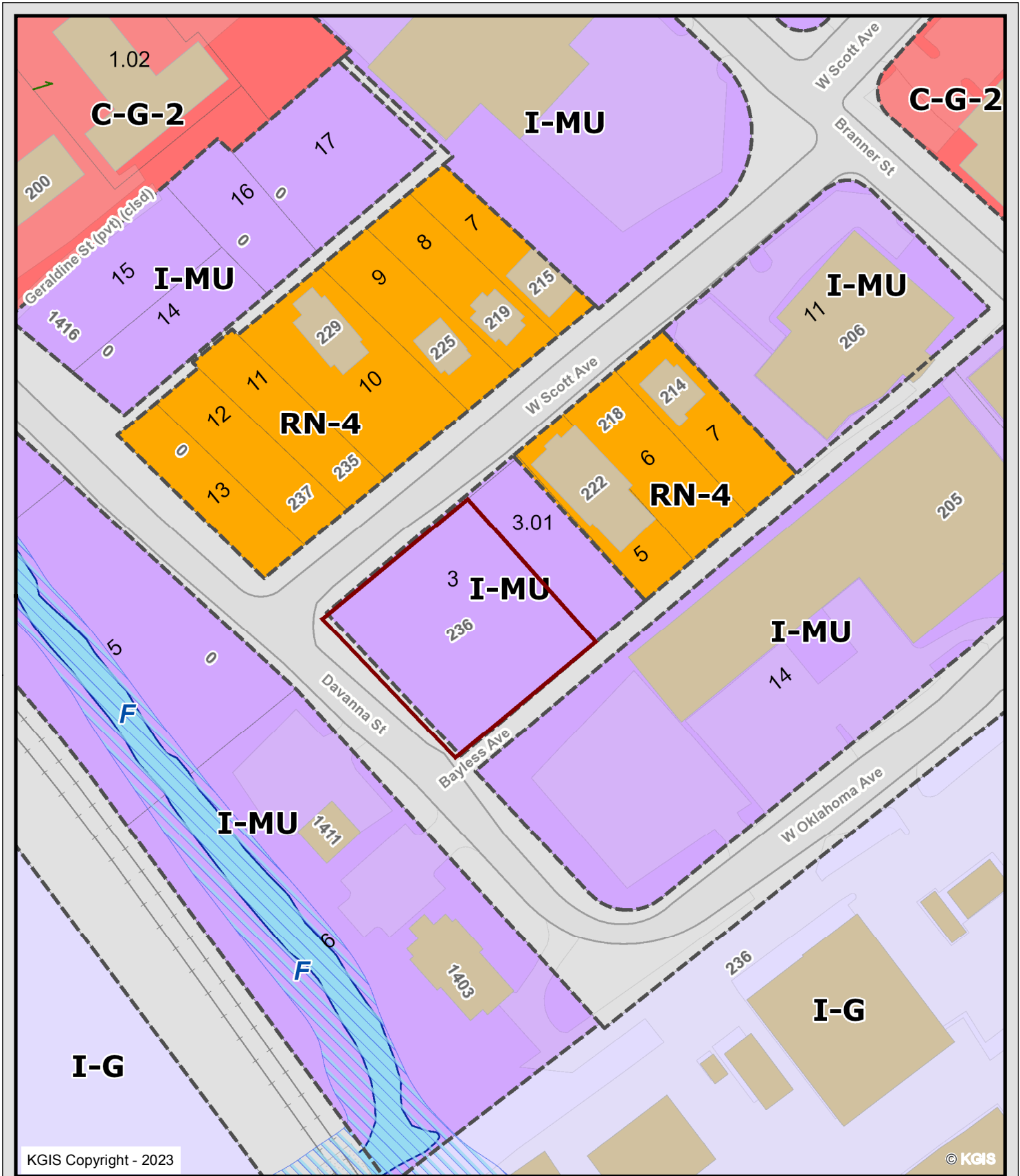
Is a plat required? Yes No

VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):

(This area is currently blank for variance requests.)

PROJECT INFORMATION

Date Filed	Fee Amount
Council District	BZA Meeting Date
PLANS REVIEWER	DATE



236 W. SCOTT AVE

6-A-23-VA
JIM WRIGHT

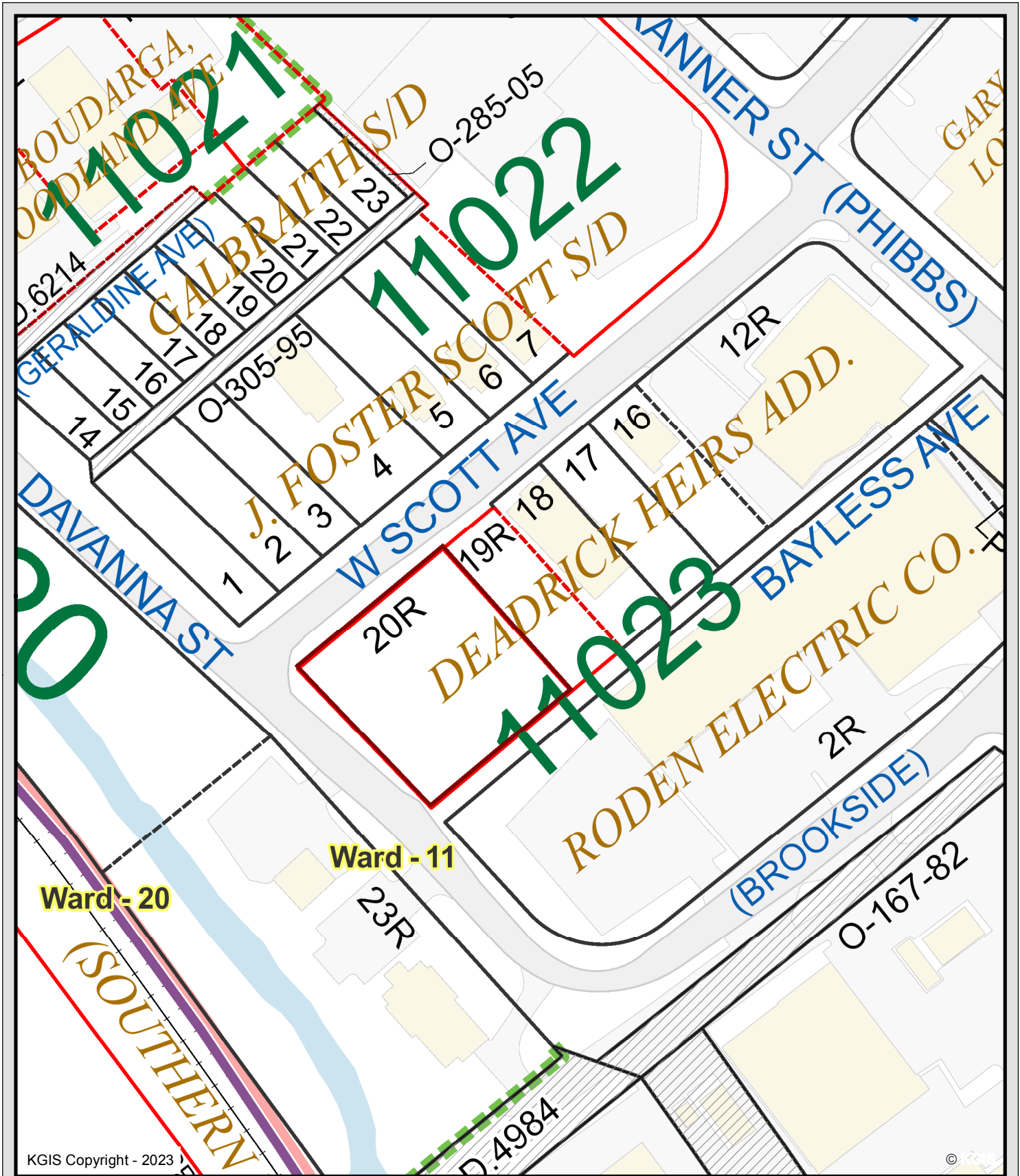
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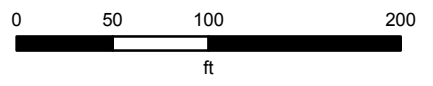
236 W. SCOTT AVE

6-A-23-VA
JIM WRIGHT

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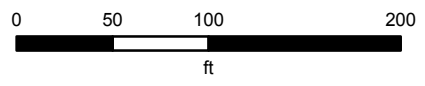
236 W. SCOTT AVE

6-A-23-VA
JIM WRIGHT

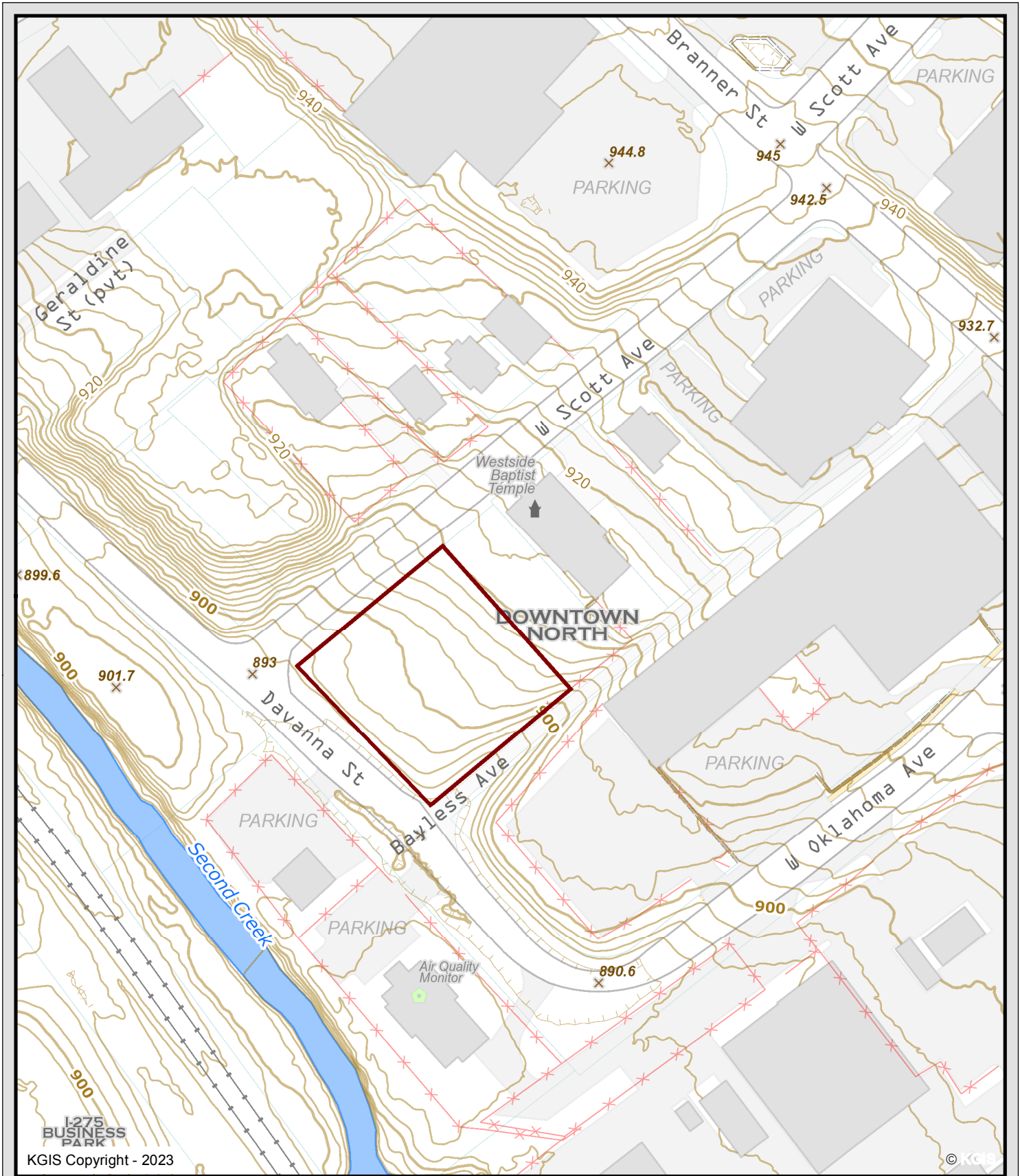
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1:275
BUSINESS
PARK
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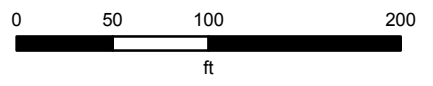
236 W. SCOTT AVE

6-A-23-VA
JIM WRIGHT

Knoxville - Knox County - KUB Geographic Information System

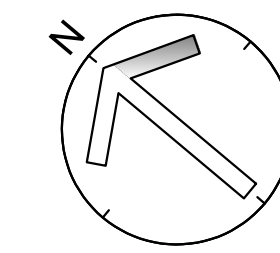


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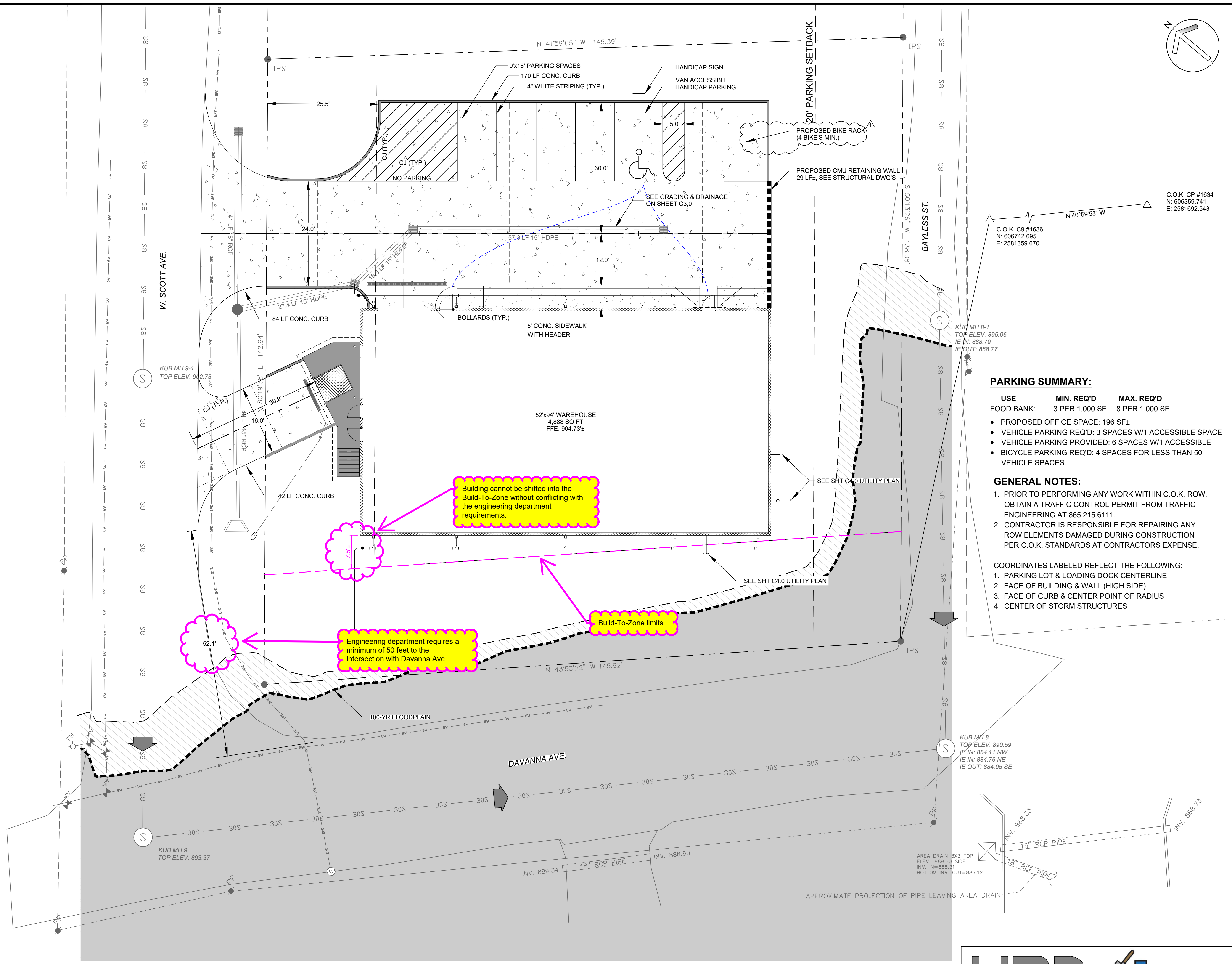
Hodge Engineering - May 02, 2023 - 11:28am
C:\hodge\Brown Design\Projects\2022\00 - Fish Pantry Warehouse\DWG\2022_C1_0-C5.0.dwg [Exhibit] CBrown



Seal:

Issue / Revision:

No.	Date	Description
A	9/6/2022	90% Review
B	12/22/2022	Pricing Set



PARKING SUMMARY:

USE	MIN. REQ'D	MAX. REQ'D
FOOD BANK:	3 PER 1,000 SF	8 PER 1,000 SF

- PROPOSED OFFICE SPACE: 196 SF±
- VEHICLE PARKING REQ'D: 3 SPACES W/1 ACCESSIBLE SPACE
- VEHICLE PARKING PROVIDED: 6 SPACES W/1 ACCESSIBLE
- BICYCLE PARKING REQ'D: 4 SPACES FOR LESS THAN 50 VEHICLE SPACES.

- GENERAL NOTES:**
1. PRIOR TO PERFORMING ANY WORK WITHIN C.O.K. ROW, OBTAIN A TRAFFIC CONTROL PERMIT FROM TRAFFIC ENGINEERING AT 865.215.6111.
 2. CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY ROW ELEMENTS DAMAGED DURING CONSTRUCTION PER C.O.K. STANDARDS AT CONTRACTORS EXPENSE.

- COORDINATES LABELED REFLECT THE FOLLOWING:
1. PARKING LOT & LOADING DOCK CENTERLINE
 2. FACE OF BUILDING & WALL (HIGH SIDE)
 3. FACE OF CURB & CENTER POINT OF RADIUS
 4. CENTER OF STORM STRUCTURES

Project No.: 22022.00

Drawn By: CRB

Eng Check	Dept Check	QA Check
SDV	CIVIL	QA

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Project Title:
Fish Pantry Warehouse

Location:
222 West Scott Avenue
Knoxville,
Tennessee

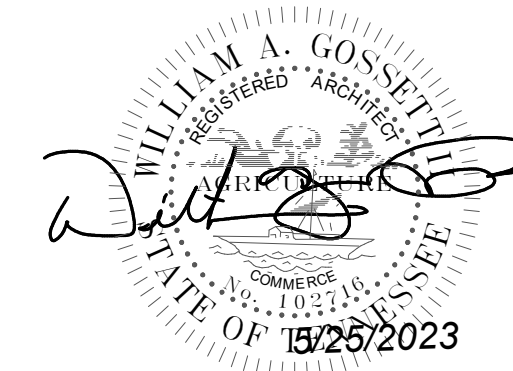
Sheet Contents:
SITE PLAN

Date:
1 May, 2023

Sheet Number:



X OF X **C2.0**



No.	Date	Description
0	1/13/2023	Permit Set
1	5/25/2023	Variance Request

Project No.: 21242

Drawn By: WAG

Eng. Check	Dept. Check	QA. Check
JEH	JMJ	JMJ

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Project Title:
Fish Pantry Warehouse

Location:
236 West Scott Avenue, Knoxville, TN

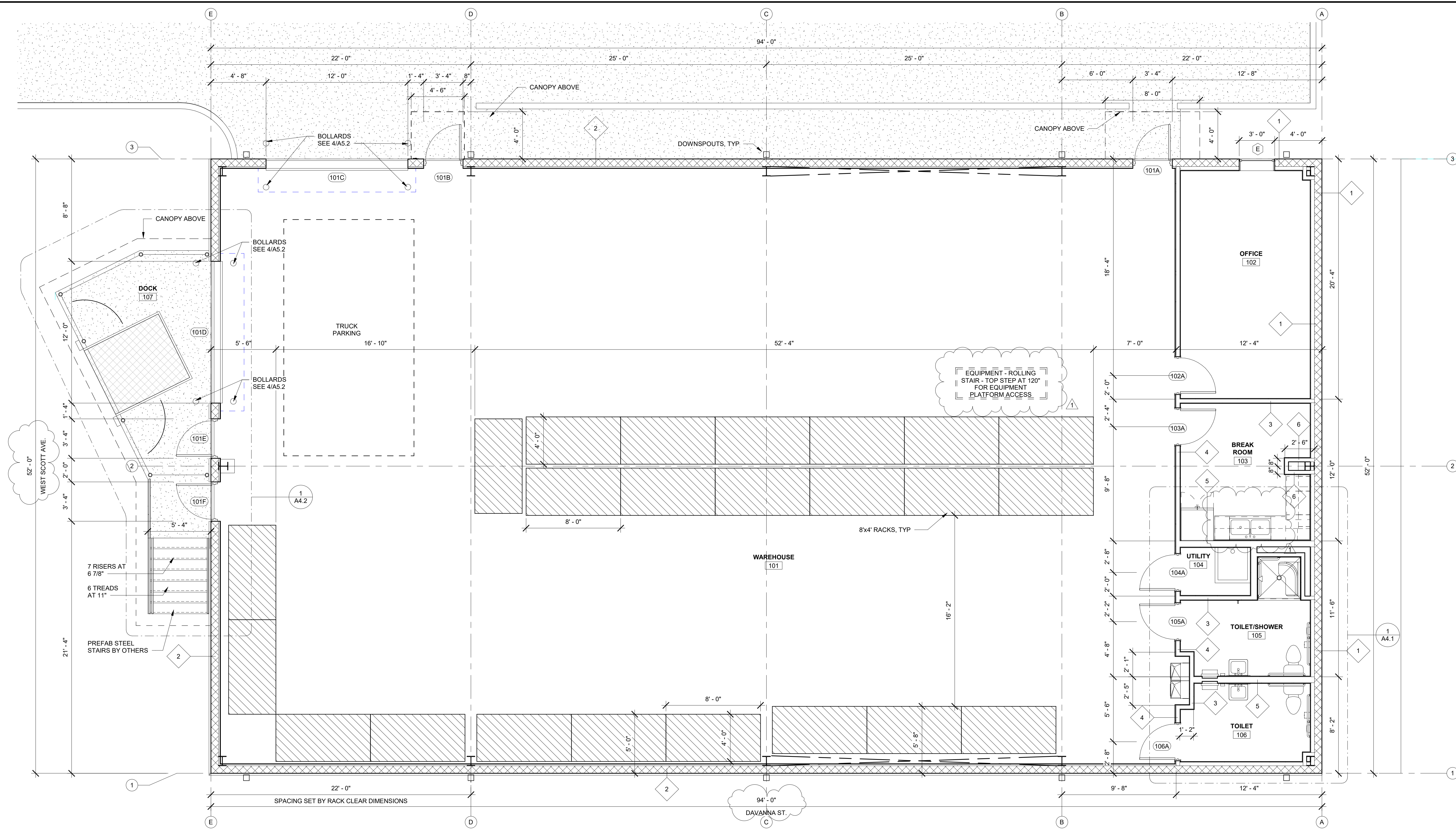
Sheet Contents:
FLOOR PLAN

Date:
13 January, 2023

Sheet Number:

1 OF 8

A1.1



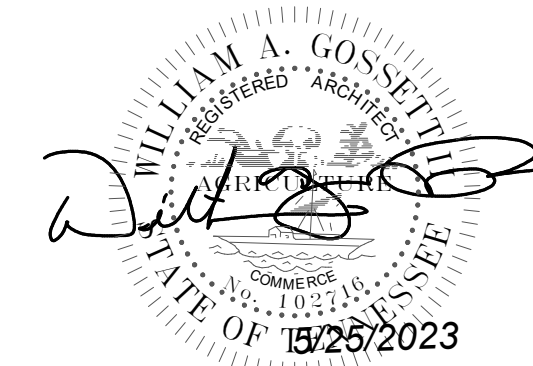
1 FLOOR PLAN SEE A4.1 FOR ROOM FINISH SCHEDULE
SCALE: 1/4" = 1'-0"
0' 2' 4' 8'

GENERAL FLOOR PLAN NOTES

- | | | | |
|--|--|---|--|
| <p>A. COMPLY WITH FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS.</p> <p>B. INTERIOR COLUMN LINE DIMENSIONS ARE TO THE COLUMN CENTERLINES</p> <p>C. DIMENSIONS AT STUD OR MASONRY WALLS ARE TO THE FACE OF STUD OR FACE OF MASONRY, UNLESS NOTED OTHERWISE</p> <p>D. DIMENSIONS AT EXISTING CONDITIONS ARE TO THE FACE OF THE EXISTING FINISH MATERIAL, UNLESS NOTED OTHERWISE.</p> <p>E. FIELD VERIFY EXISTING CONDITIONS, IF APPLICABLE.</p> <p>F. SEE "WALL TYPE LEGEND" FOR WALL MATERIALS, HEIGHTS AND FIRE RATINGS.</p> <p>G. SEE "ROOM FINISH SCHEDULE FOR FINISHES AND CEILING HEIGHTS</p> <p>H. SEE "DOOR SCHEDULE" FOR DOOR TYPES, SIZES, FIRE RATINGS AND DETAILS.</p> <p>I. SEE STRUCTURAL DRAWINGS FOR CONCRETE SLABS, FOOTINGS AND REINFORCING.</p> | <p>J. COORDINATE LOCATION OF MECHANICAL / ELECTRICAL / FIRE PROTECTION EQUIPMENT TO CLEAR STRUCTURAL FRAMING AND ARCHITECTURAL COMPONENTS. MAINTAIN CLEARANCES AS REQUIRED BY CODES AND ACCESSIBILITY AS NEEDED FOR PROPER MAINTENANCE.</p> <p>K. FLASHING OF OPENINGS AND PENETRATIONS SHALL BE IN ACCORDANCE WITH THE MOST RECENT S.M.A.C.N.A. STANDARDS AND RECOMMENDATIONS.</p> <p>L. MAINTAIN THE FIRE RESISTANCE REQUIREMENTS, REQUIRED BY CODE, FOR A NON-COMBUSTIBLE BUILDING BY USE OF FIRE RESISTANT BUILDING COMPONENTS.</p> <p>M. WOOD BLOCKING SHALL BE FIRE RETARDANT TYPE AND PROVIDED AS INDICATED ON ARCHITECTURAL DRAWINGS. IF NOT INDICATED PROVIDE BLOCKING AT WALL SUPPORTED RAILS AND WALL HUNG EQUIPMENT DESIGNED TO RESIST FORCES AS DESIGNATED BY THE APPLICABLE BUILDING CODE. OMIT BLOCKING AT HIGH TEMPERATURE PENETRATIONS THROUGH ROOF OR WALLS UNLESS PENETRATION IS ADEQUATELY INSULATED AND HAS ADEQUATE CLEARANCE FOR VENTILATION.</p> | <p>N. MAINTAIN FIRE RATINGS AT OPENINGS IN RATED WALLS AND FLOORS. MAINTAIN FIRE RATINGS IN RATED WALLS AND FLOORS AT PENETRATIONS AND AT PERIMETERS. SEE ARCHITECTURAL DRAWINGS FOR DETAILS. IF NOT DETAILED SEAL PENETRATIONS AND PERIMETERS WITH RATED SEALANTS AND FIRE SAFE MATERIALS TO MATCH FIRE RATING OF WALL, FLOOR OR ROOF/CEILING SYSTEM PER U.L. STANDARDS.</p> <p>O. INDICATE FIRE RATING OF WALLS BY STENCILING WALL RATING ON THE WALL FINISH AT EACH SIDE OF THE RATED WALL IN A VISIBLE LOCATION ABOVE CEILING, IF APPLICABLE, AS A WARNING THAT ALL EXISTING AND NEW PENETRATIONS SHALL BE RATED.</p> <p>P. PIPE SLEEVES, FRAMED OPENINGS AND MISCELLANEOUS OPENINGS INDICATED ON THE ARCHITECTURAL DRAWINGS BUT NOT SIZED OR DIMENSIONALLY LOCATED SHALL BE SIZED AND LOCATED AS INDICATED BY THE APPLICABLE MECHANICAL, PLUMBING, ELECTRICAL OR STRUCTURAL DRAWINGS. THESE OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE ARCHITECTURAL DETAILS.</p> | <p>Q. GYPSUM BOARD TO BE INSTALLED IN ACCORDANCE WITH THE GYPSUM CONSTRUCTION HANDBOOK (RS MEANS). A MINIMUM LEVEL 4 FINISH FOR OFFICE AND BUSINESS OCCUPANCY AREAS. A MINIMUM LEVEL 2 FINISH FOR WAREHOUSE AREAS.</p> <p>R. ALL NEW FURNITURE AND EQUIPMENT TO BE COORDINATED BY OWNER.</p> <p>S. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY.</p> <p>T. CONSTRUCTION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL CONDUCT ALL NECESSARY SAFETY MEASURES RECOMMENDED TO PROTECT THE TRADES PEOPLE AND STRUCTURE DURING CONSTRUCTION.</p> |
|--|--|---|--|

WALL TYPES

1	EXTERIOR WALL - • [0'-0" - 7'-4"] 8" INSULATED CMU W/ 5/8" GYP.BD. ON 3-5/8" METAL STUDS AND RIGID INSULATION. MINIMUM R-9.5 FOR MASS WALL. • [7'-4" - 18'-0"] VERTICAL METAL PANEL ON METAL BUILDING GIRTS W/ R-13+R-13 CI. • [18'-0" - ROOF] HORIZONTAL METAL PANEL ON METAL STUDS FRAMED OUT FROM METAL BUILDING GIRTS/COLUMNS W/ R-13+R-7.5 CI.
2	EXTERIOR WALL - • [0'-0" - 7'-4"] 8" INSULATED CMU W/ 1/2" PLYWOOD TO 8'-0" ON 1-1/2" FURRING STRIPS. ON 3-5/8" METAL STUDS BATT INSULATION. MINIMUM R-9.5 FOR MASS WALL. • [7'-4" - 18'-0"] VERTICAL METAL PANEL ON METAL BUILDING GIRTS W/ R-13+R-13 CI. • [18'-0" - ROOF] HORIZONTAL METAL PANEL ON METAL STUDS FRAMED OUT FROM METAL BUILDING GIRTS/COLUMNS W/ R-13+R-7.5 CI.
3	INTERIOR WALL - 5/8" GYP.BD. ON EACH SIDE OF 3-5/8" METAL STUDS. GYP.BD. TO EXTEND MINIMUM OF 6" ABOVE CEILING
4	INTERIOR WALL - 5/8" GYP.BD. ON ROOM BOTH SIDES OF 3-5/8" METAL STUDS. GYP.BD. TO TOP OF WALL. LOWER GYP. BD TO HAVE 1/2" PLYWOOD PROTECTION TO 48" FROM FF WAREHOUSE SIDE
5	INTERIOR WALL - 5/8" GYP.BD. ON EACH SIDE OF 6" METAL STUDS. GYP.BD. TO EXTEND MINIMUM OF 6" ABOVE CEILING
6	INTERIOR WALL - 5/8" GYP.BD. ON ROOM SIDE OF 3-5/8" METAL STUDS. GYP.BD. TO EXTEND MINIMUM OF 6" ABOVE CEILING.
7	INTERIOR WALL - 5/8" GYP.BD. ON ONE SIDE OF 6" METAL STUDS. GYP.BD. TO EXTEND MINIMUM OF 6" ABOVE CEILING



Issue: \ Revision:

No.	Date	Description
0	1/13/2023	Permit Set
1	5/25/2023	Variance Request

Project No.: 21242

Drawn By: WAG

Eng. Check: JEH
Dept. Check: JMJ
QA. Check: JMJ

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Project Title:
Fish Pantry Warehouse

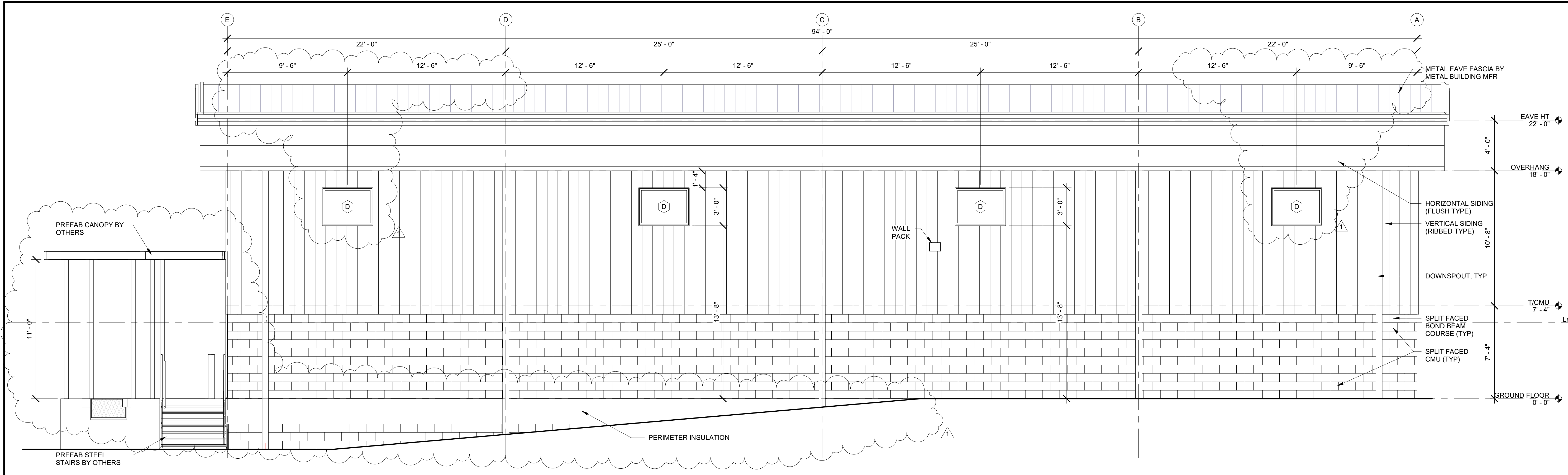
Location:
236 West Scott Avenue, Knoxville, TN

Sheet Contents:
EXTERIOR ELEVATIONS

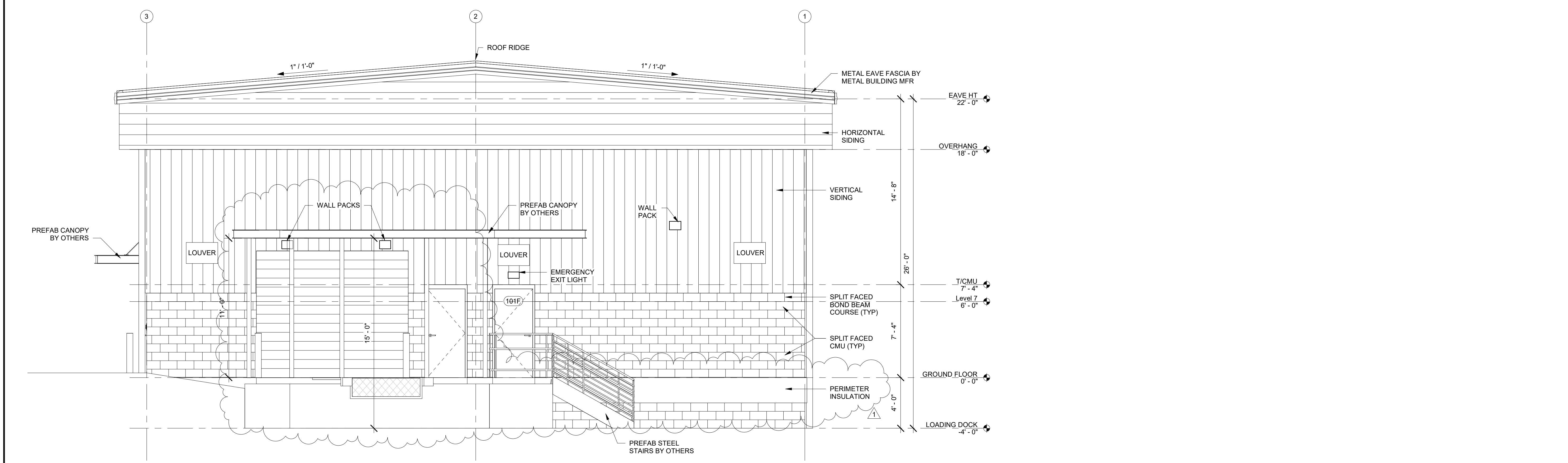
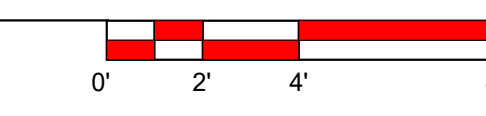
Date:
13 January, 2023

Sheet Number:

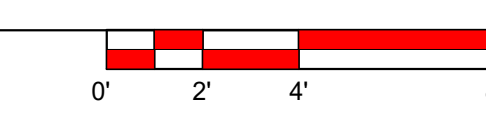
A2.2



1 EXTERIOR ELEVATION - SOUTH (SW) (DAVANNA AVE.)
A2.2 1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH (NW) (W SCOTT ST.)
A2.2 1/4" = 1'-0"





June 12, 2023

Mr. Bryan Berry, Deputy Director
Board of Zoning Appeals
Room 475, City-County Building
P. O. Box 1631
Knoxville, Tennessee 37901

Dear Mr. Berry:

Re: Variance Requests 5-E-23-VA, 6-A-23-VA, 6-B-23-VA, 6-C-23-VA, 6-D-23-VA, and 6-F-23-VA

We have reviewed our records and, as far as we have been able to determine, KUB has no existing utility facilities located within the variance areas and we have no objection to the requested variances. However, KUB does not release and hereby retains all easements and rights for existing facilities, whether or not identified in our research.

Sincerely,

A handwritten signature in black ink, appearing to read "C. Wiberley".

Christian Wiberley, P.E.
Engineering

CGW

From: [Steve Borden](#)
To: [Jennifer Scobee](#)
Subject: RE: June Board of Zoning Appeals Applications - City of Knoxville
Date: Monday, June 12, 2023 4:24:04 PM
Attachments: [image001.png](#)
[image002.png](#)

Jennifer,

Please find the following responses to the referenced BZAs:

5-E-23-VA 5402 Rutledge Pk (postponed from May): Operations has no opposition to the changing of parking requirements specifically, but would remind that on-street parking along Rutledge Pike is not permitted.
6-A-23-VA 236 W. Scott Ave: Operations has no comment.
6-B-23-VA 321 Deaderick Ave: Operations has no comment.
6-C-23-VA 519 Douglas Ave: Operations has no comment.
6-D-23-VA 109 S. Broadway: Operations has no opposition to the requested modification of the build-to setback along Worlds Fair Park Drive. The Department would like to emphasize that no structure, appurtenance, or signage (at grade or over-hanging) shall be permitted to be constructed within the limits of State-Owned ROW.
6-F-23-VA 1931 & 1923 Forest Ave: Operations has no comment.

Thank you,



Steven M. Borden, P.E. | Director/Assistant Chief Engineer
TDOT – Region 1
7345 Region Lane
Knoxville, TN 37914
(865) 594-2400
Steve.Borden@tn.gov
tn.gov/tdot



VARIANCE
Knoville BZA
PUBLIC HEARING
215-4244

Davann