



# BOARD OF ZONING APPEALS APPLICATION

Please reach out to a City of Knoxville Zoning Examiner about your project before submitting a variance application.

APPLICANT INFORMATION	APPLICANT IS:	THIS PROPOSAL PERTAINS TO:
Name (Individual not company) Michael Hicks	Owner <input type="checkbox"/>	New Structure <input checked="" type="checkbox"/>
Street Address 8312 Creedmoor Rd.	Contractor <input type="checkbox"/>	Modification of Existing Structure <input type="checkbox"/>
City, State, Zip Raleigh, NC 27615	Tenant <input type="checkbox"/>	Off Street Parking <input type="checkbox"/>
Phone Number 919-848-6121	Other <input checked="" type="checkbox"/>	Signage <input type="checkbox"/>
Applicant Email mhicks@sambatek.com		Other <input type="checkbox"/>

### THIS IS A REQUEST FOR:

<input checked="" type="checkbox"/> Zoning Variance (Building Permit Denied)	<input type="checkbox"/> Extension of Non-Conforming Use/or Structure
<input type="checkbox"/> Appeal of Administrative Official's Decision	<input type="checkbox"/> Map Interpretation

### PROPERTY INFORMATION

Street Address 2900 N. Broadway	City, State, Zip Knoxville, TN
See <a href="http://KGIS.org">KGIS.org</a> for Parcel # 081DC004	City Council District # 4 and Zoning District C-G-2

### VARIANCE REQUIREMENTS

#### City of Knoxville Zoning Ordinance Article 16, Section 16.3

The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.

The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

### DESCRIPTION OF APPEAL

Describe your project and why you need variances.

See attached responses to Standards and Requirements for the Granting of a Variance as specified in Appendix B - Zoning Code of Knoxville, TN within Article 16, Section 3-Variance.

Describe hardship conditions that apply to this variance.

1. Minimal Overall Site Area/Acreage
2. Several 10ft Drainage and Utility Easements.
3. Subject Property is located within Flood Zone X
4. Topography constraints as warranted by flood plain requirements to develop in the flood plain.
5. Existing Overhead Utilities accompanied by Easements.
6. Existing Underground Utilities accompanied by Easements.

Site plans and any other relevant information associated with the hardship must accompany this application.

### APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE

DATE

4/12/23

File #



**BOARD OF ZONING APPEALS APPLICATION**

**\*\*\*\*\*OFFICE USE ONLY\*\*\*\*\***

Is a plat required?    Yes      No  

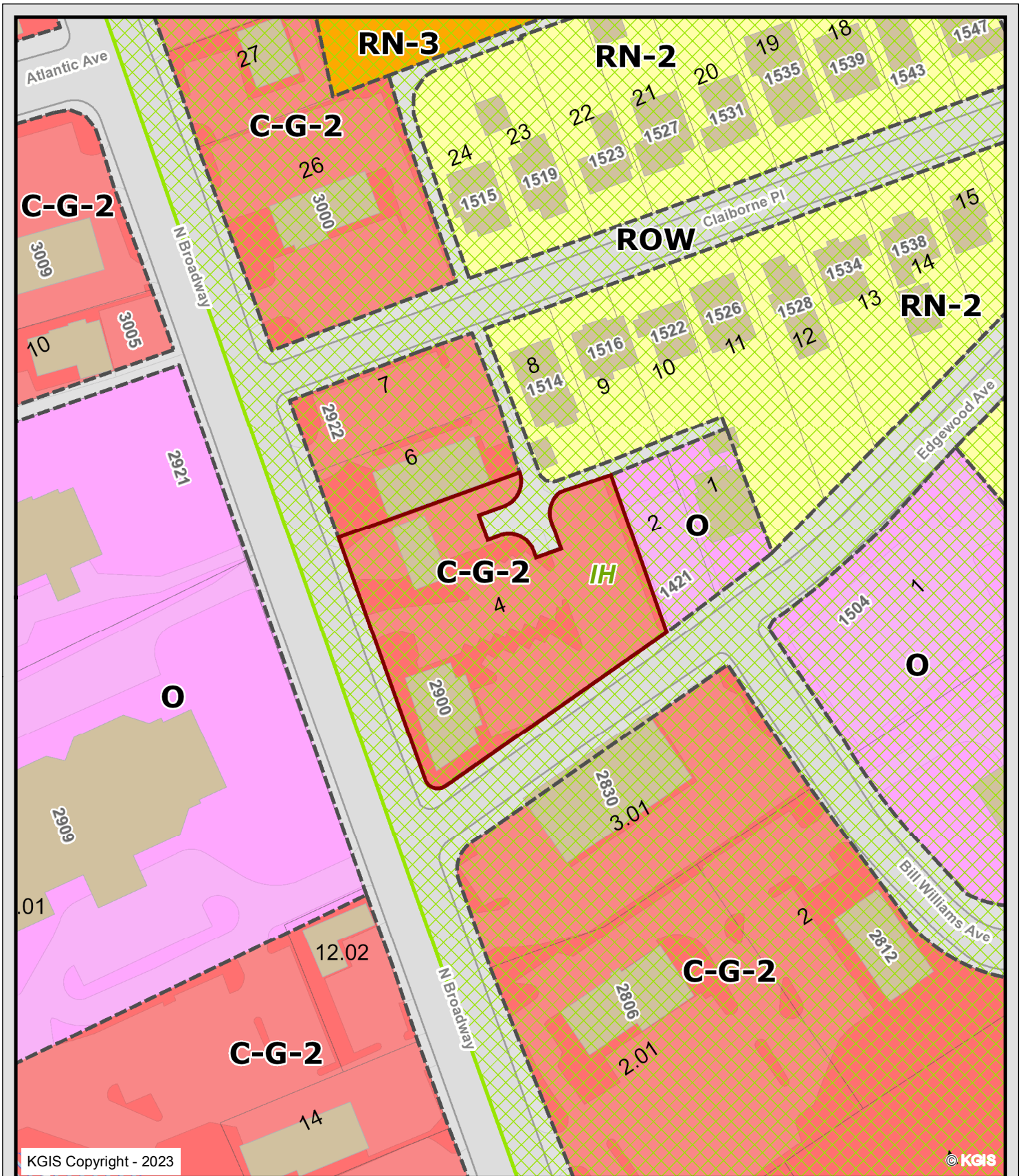
**VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):**

*(This area is intentionally left blank for the applicant to provide variance request details.)*

**PROJECT INFORMATION**

Date Filed	Fee Amount
Council District	BZA Meeting Date
<b>PLANS REVIEWER</b>	<b>DATE</b>





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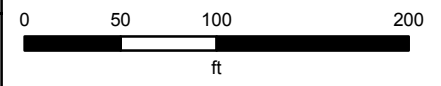
## 2900 N BROADWAY

5-G-23-VA  
MICHAEL HICKS

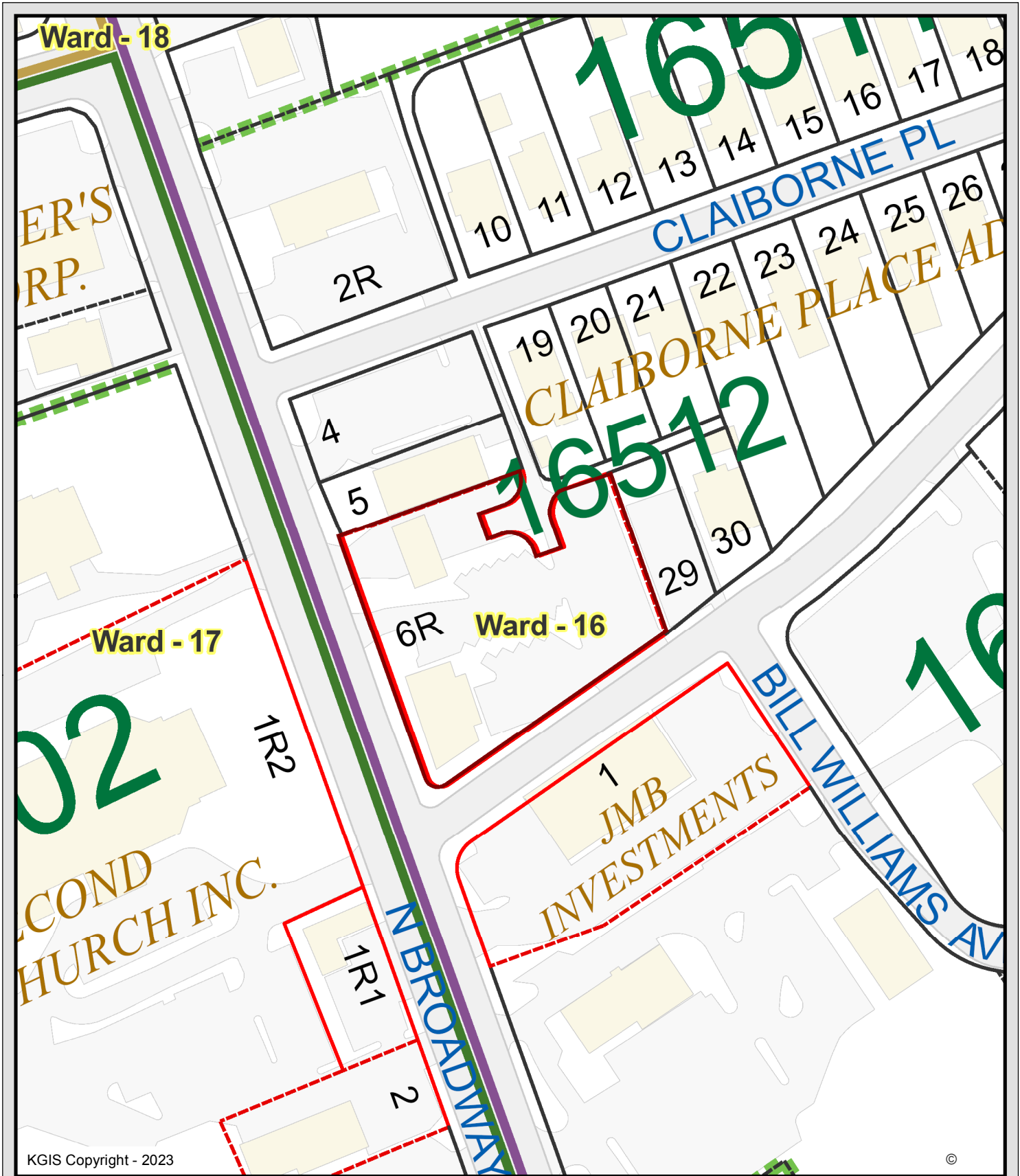
**Knoxville - Knox County - KUB Geographic Information System**



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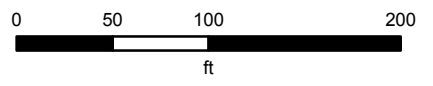
**2900 N BROADWAY**

5-G-23-VA  
MICHAEL HICKS

**Knoxville - Knox County - KUB Geographic Information System**

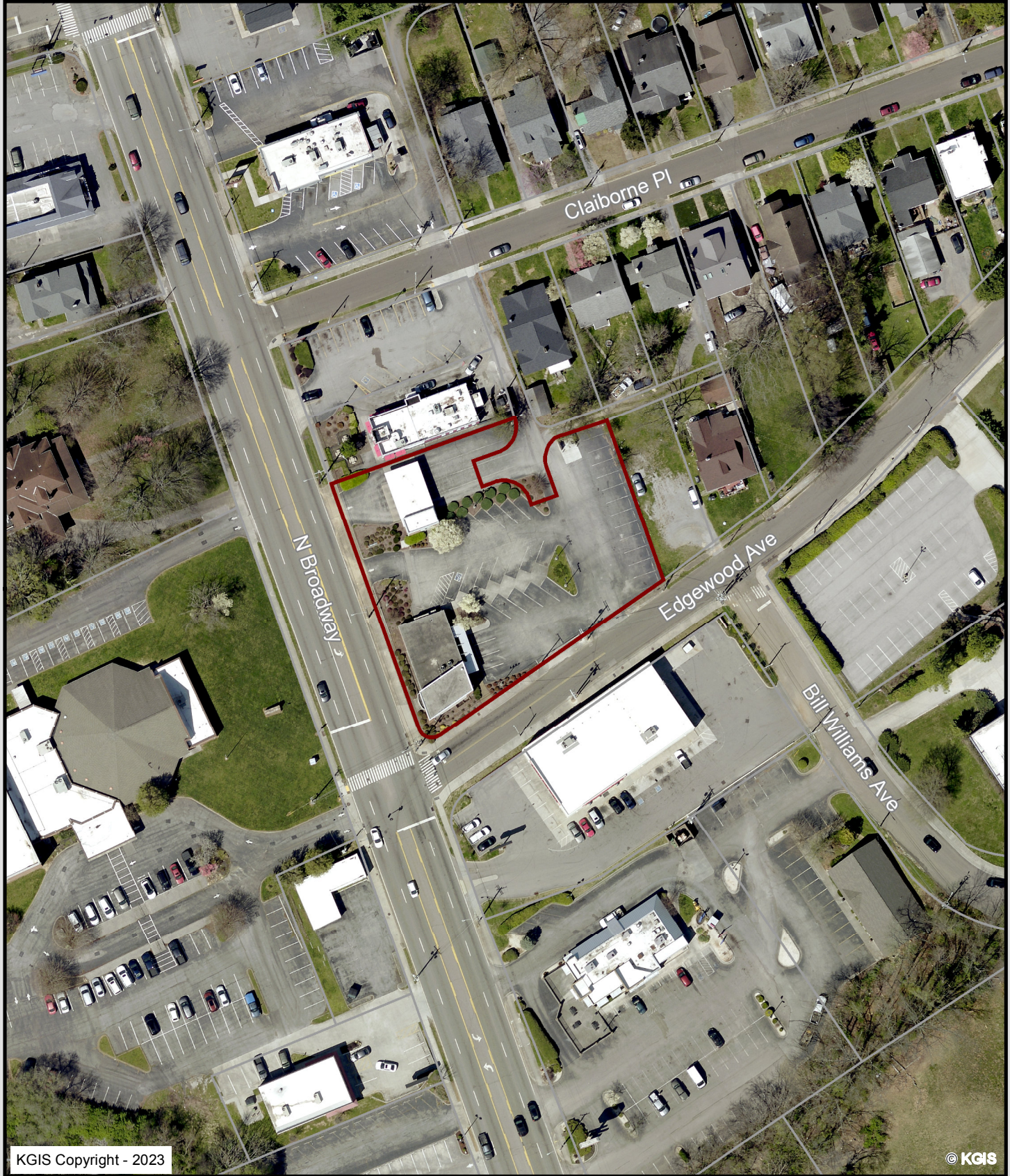


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# 2900 N BROADWAY

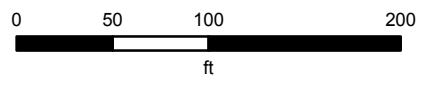
5-G-23-VA

MICHAEL HICKS

## Knoxville - Knox County - KUB Geographic Information System

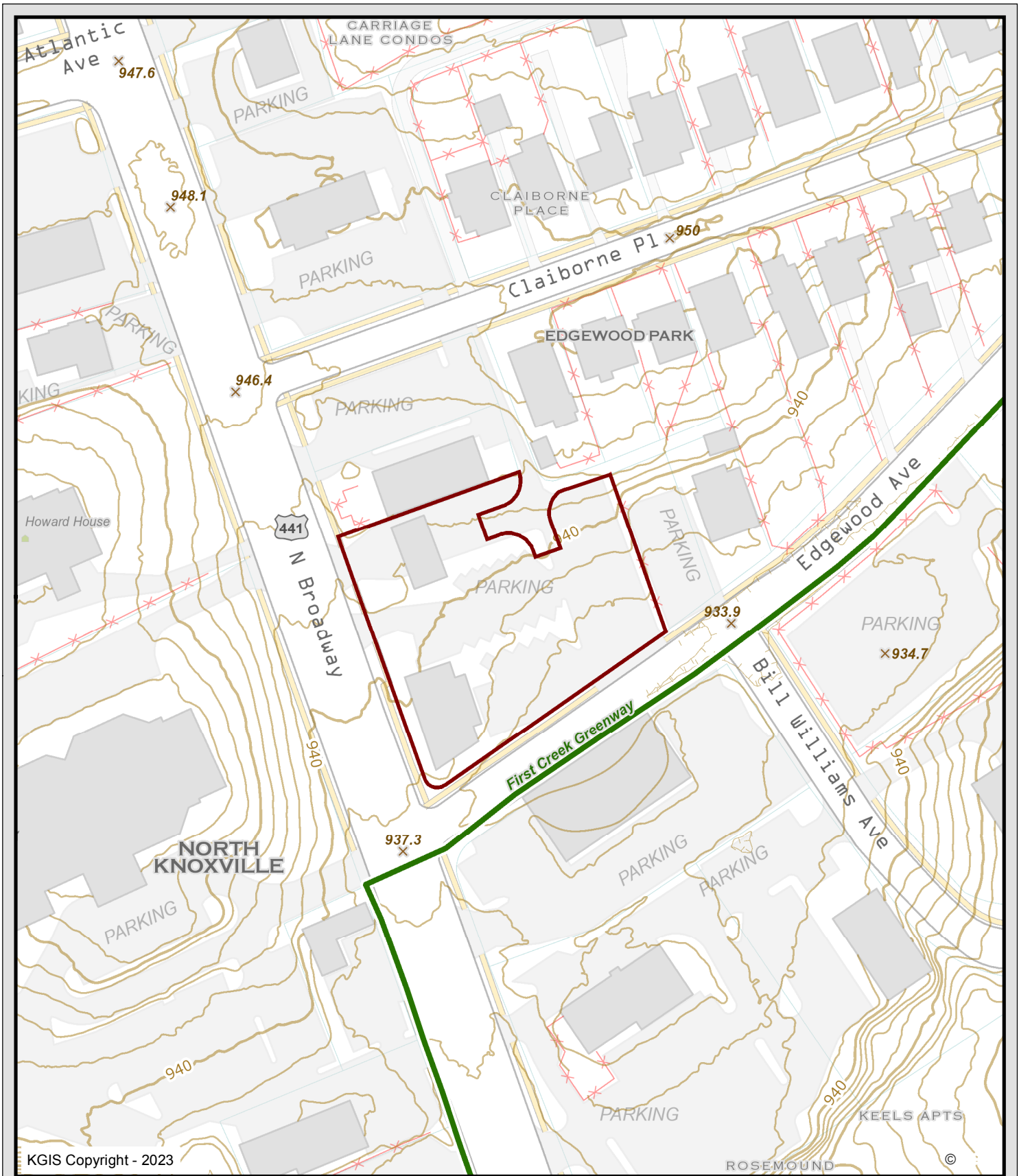


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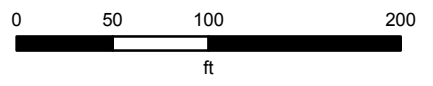
## 2900 N BROADWAY

5-G-23-VA  
MICHAEL HICKS

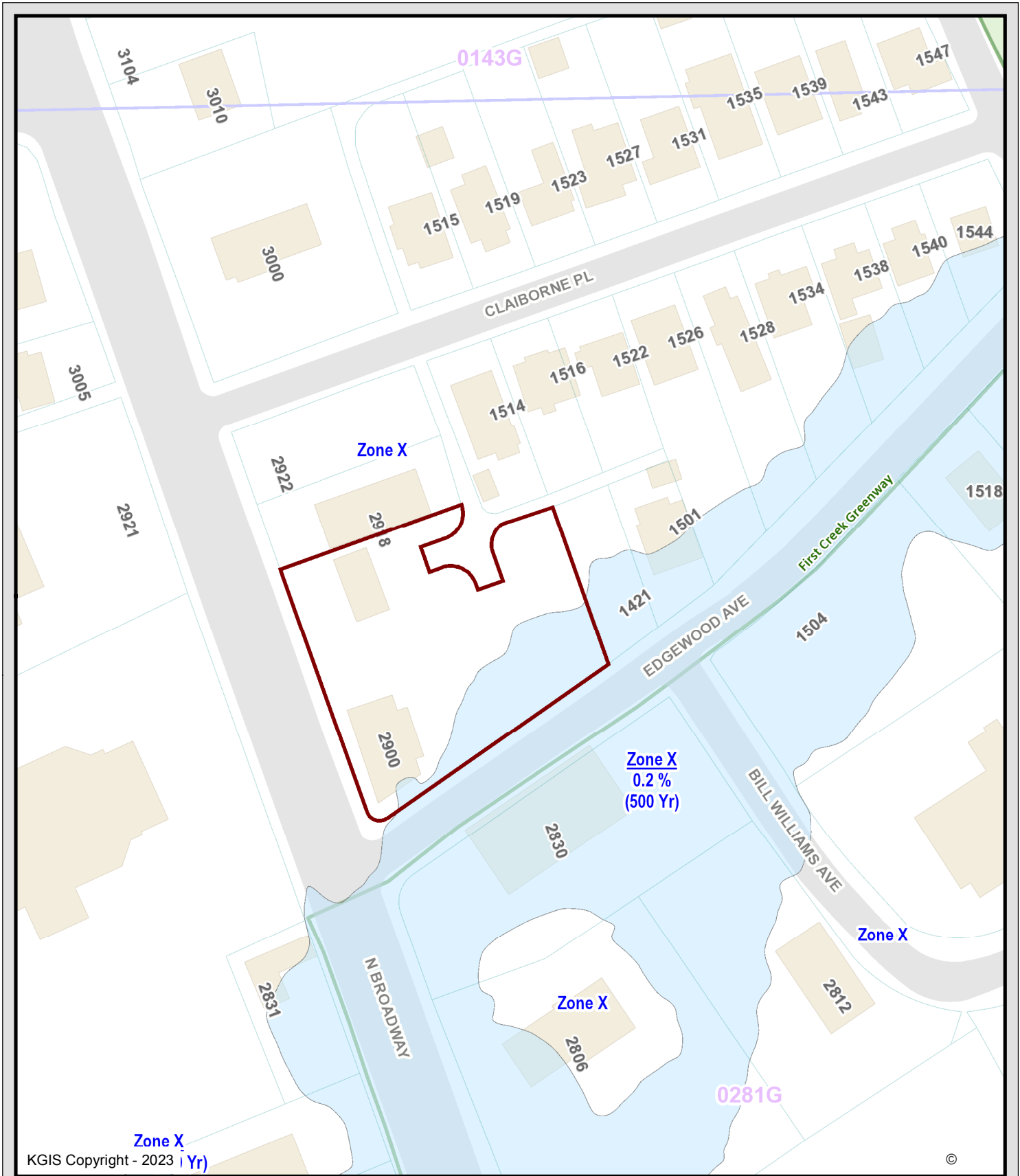
### Knoxville - Knox County - KUB Geographic Information System



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Zone X  
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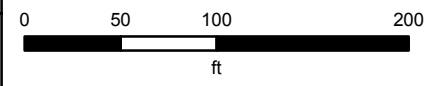
### 2900 N BROADWAY

5-G-23-VA  
 MICHAEL HICKS

#### Knoxville - Knox County - KUB Geographic Information System



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April 13, 2023

RE: Variance Request – 2900 N. Broadway, Knoxville, TN  
Parcel ID: 081DC004, Deed 20210920-0023436 Lot 6-R Clairborne Place Addition

To Whom It May Concern:

The subject property consists of 0.78 acres or 34,038 sf of land and is zoned C-G-2. There are two (2) Right of Way (ROW) boundaries which border the parcel. The ROW of North Broadway fronts the property to the west and the ROW of Edgewood Avenue is the corner side frontage to the south. To the north side lot line is an adjacent property zoned C-G-2 with a commercial use. To the east rear lot line is an adjacent property zoned as Office (O) with a single-family residential use.

Based on the current zoning requirements of the subject property which is located within the C-G-2 zoning district, the building setbacks are measured as a 20ft maximum building setbacks from the ROW of Broadway, a 10ft maximum building setback from the ROW Edgewood Ave, a 10ft minimum side building setback from north property line, and a 0ft minimum rear building setback from the east property line.

The existing conditions of the site include an abandoned bank building with separate building that consists of a drive thru teller with ancillary parking. The proposed use/redevelopment of the property will remove the abandoned bank building, teller building, and associated parking to introduce a new Cook Out Restaurant with drive thru window and ancillary parking.

The subject property has several unique characteristics which are attributed by the previous use and natural conditions. There are several easements and dedicated Right of Way's which consists of the following; a variable width dedicated alley way with turn around area located within the NE portions of the property, a 10ft sewer line easement starting from Edgewood Ave. and traverses north across the property, several 10ft Drainage and Utility Easements which parallel the entire perimeter of the property, a 5ft x 55ft strip of land used for ROW or Easement for Sidewalk parallel to North Broadway ROW. Furthermore, given the limited size of the property there are significant topographic variations that range in an elevation difference of approximately 10ft from north to south. In addition, a significant portion of the property is located within a special floodplain protection zone. This floodplain area encumbers a large portion of the property with 10,076sf or 34% of the total area of the property.

These unique property characteristics will remain in effect with the proposed redevelopment and therefore demonstrates the reasons for a necessary variance request to the maximum building setback from Edgewood Ave. To ensure the placement of the new Cook Out Restaurant building does not encroach into the floodplain areas the proposed building is placed as close as possible to the ROW of Edgewood Ave while ensuring there is no encroachment of the building into floodplain. The closest distance of the new building from Edgewood Ave. ROW is measured at 30.5ft, as demonstrated on the enclosed Site Plan. Therefore, we respectfully



request a maximum building setback variation of 21ft which is the difference the required of 10ft maximum to 31ft maximum building setback.

Granting of this variance is in harmony with the general purposes and intent of this Code and will not be injurious to the neighborhood, detrimental to public welfare, or in conflict with the General Plan for development. As previously demonstrated, there are special unique circumstances associated with this property and its development potential is constrained by the zoning regulations related to maximum building setbacks which are in conflict to the characteristics of the property.

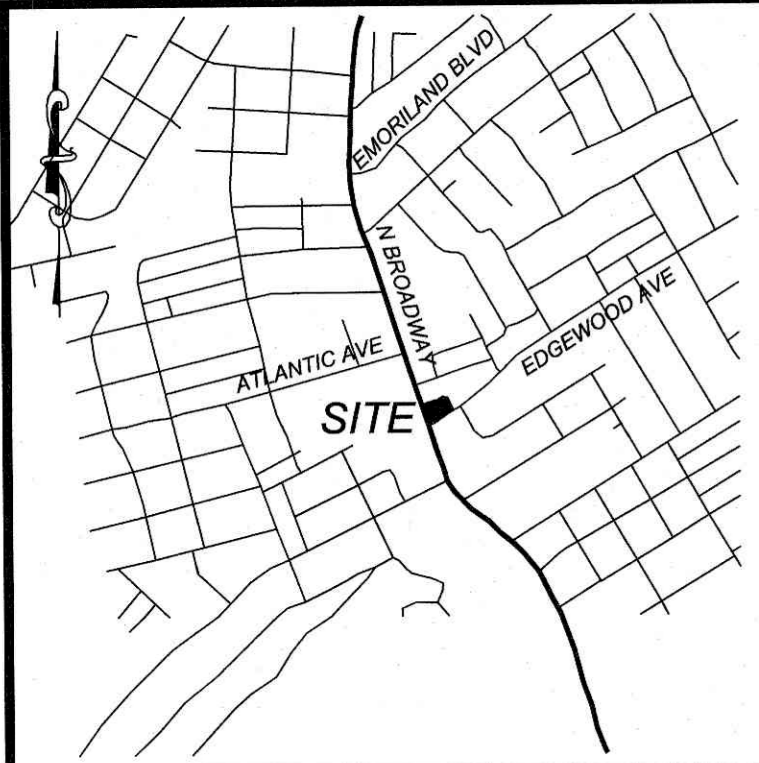
Sincerely,

Michael Hicks  
Project Manager

Direct: 919.848-6121| Mobile: 919.604.2736

Email: [mhicks@sambatek.com](mailto:mhicks@sambatek.com)





VICINITY MAP  
NTS

CURVE TABLE								
CURVE	FIELD LENGTH	DEED LENGTH	RADIUS	DELTA	FIELD BEARING	DEED BEARING	CHORD	TANGENT
C1	31.41'	31.42'	20.00'	89.98°	S25°15'53"W	S25°17'41"W	28.28'	19.99'
C2	31.41'	31.42'	20.00'	89.98°	S64°44'07"E	S64°42'19"E	28.28'	19.99'
C3	31.41'	31.42'	20.00'	89.98°	N25°15'52"E	N25°17'40"E	28.28'	19.99'
C4	18.33'	18.33'	10.00'	105.03°	N72°14'56"W	N72°13'08"W	15.87'	13.04'

LINE TABLE		
Line #	Direction	Length
L-1	S 70°15'53" W	20.00
L-2	S 19°44'07" E	20.00
L-3	N 70°15'53" E	10.00
L-4	N 70°15'53" E	20.00

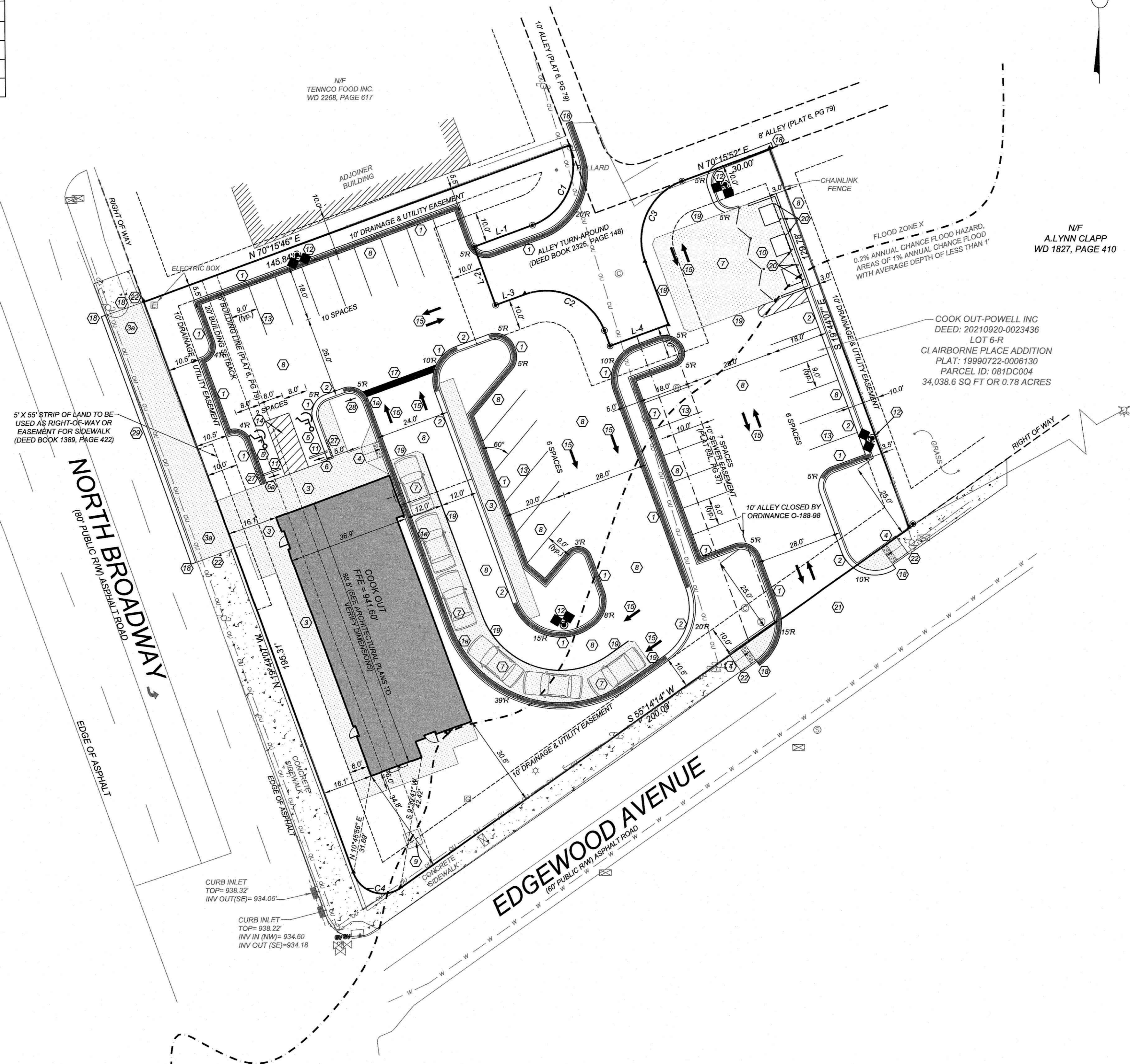
**SITE KEYNOTES:**

- 1) CONSTRUCT 2.0' STANDARD CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- 2) CONSTRUCT 2.0' ROLLED CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- 3) CONSTRUCT 2.0' STANDARD CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- 4) CONSTRUCT 2.0' ROLLED CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- 5) CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET. CONTRACTOR SHALL COORDINATE STAMPING PATTERN AND COLOR OF BUILDING ISLAND SIDEWALK WITH OWNER
- 6) CONCRETE SIDEWALK PER DETAIL SHEET MATCH EXISTING WIDTH OF EXISTING SIDEWALKS
- 7) CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
- 8) HANDICAP PARKING STALL
- 9) INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- 10) INSTALL "VAN ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL SHEET
- 11) CONCRETE PAVEMENT (COLOR - BLACK), PER DETAIL SHEET
- 12) ASPHALT PAVEMENT PER DETAIL SHEET
- 13) TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
- 14) CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
- 15) CONCRETE WHEEL STOP PER DETAIL SHEET
- 16) POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- 17) PAINT 4" WIDE STRIPE, WHITE PAINT, MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)
- 18) PAINT 4" WIDE MINI-SKIP STRIPE, WHITE PAINT, MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)
- 19) PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART, MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)
- 20) PAINT TRAFFIC ARROWS PER DETAIL SHEET
- 21) SITE IDENTIFICATION SIGN, CONTRACTOR SHALL COORDINATE WITH OWNER AND CITY.
- 22) PAINT 24" STOP BAR PER DOT AND MUTCD STANDARDS
- 23) MATCH EXISTING CURB & GUTTER
- 24) ASPHALT/CONCRETE TRANSITION PER DETAIL
- 25) INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- 26) MATCH EXISTING ASPHALT PAVEMENT
- 27) MATCH EXISTING CONCRETE SIDEWALK
- 28) PAINT CROSSWALK PER DETAIL SHEET
- 29) PREVIEW BOARD, COORDINATE WITH OWNER
- 30) MENU BOARD, COORDINATE WITH OWNER
- 31) INSTALL 42" HIGH SAFETY RAILING, FINISH POWDER COAT RED, SEE DETAIL SHEET
- 32) NOSE DOWN CURB PER DETAIL
- 33) INSTALL "STOP" SIGN AND "DO NOT ENTER" SIGN PER MUTCD AND DOT STANDARDS AND SPECIFICATIONS
- 34) CONSTRUCT CONCRETE CURB AND GUTTER PER DOT STANDARD AND SPECIFICATIONS

**24 HOUR CONTACT**  
**JOHN ARMFIELD**  
**CONSTRUCTION MANAGER**  
**TELEPHONE: (336) 279-3242**

**SITE LEGEND**

- SPILL CURB
- HANDICAP RAMP
- HANDICAP STALL
- CONCRETE
- PROPERTY LINE
- SIGN
- BOLLARD
- EX. FIRE HYDRANT
- FENCE
- POLE MOUNTED AREA LIGHT
- PROPERTY CORNER
- F.F.E. = XXXXX FINISH FLOOR ELEVATION

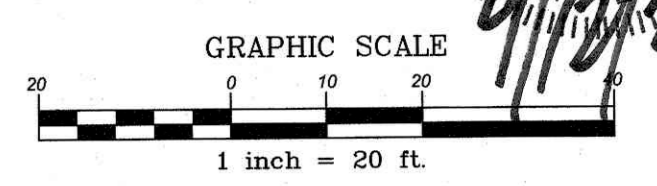


**CURBING NOTE:**  
 STANDARD CURB AND GUTTER SHALL BE INSTALLED AT BUILDING ISLAND DIRECTLY ADJACENT TO BUILDING ONLY, AND AT THE FRONT OF ALL PARKING STALLS. ROLLED CURB AND GUTTER SHALL BE INSTALLED THROUGHOUT REMAINDER OF SITE.

**PAINT NOTE:**  
 ALL PAINT STRIPING SHALL BE APPLIED AT A MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)

**GENERAL NOTES:**

1. THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY: COMMERCIAL SITE DESIGN, 8312 CREEDMOOR ROAD, RALEIGH, NORTH CAROLINA 27613, PHONE: (919) 959-6121
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
4. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
5. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
6. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
7. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
8. ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
9. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
10. ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
11. DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
12. THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
13. THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
14. GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE
15. FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
16. CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
17. ALL RADI DIMENSIONS ARE TO FACE OF CURB.
18. ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
19. ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
20. ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEED AND MULCHED WITHIN SEVEN (7) DAYS.
21. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE. OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT TENNESSEE "811" AT (800) 351-1111 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
22. ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
23. COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
24. THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
25. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
26. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
27. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
28. ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
30. ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
31. ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
32. ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
33. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
34. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.



NO.	DATE	DESCRIPTION
1	27-3-2023	PER PRESUBMITTAL COMMENT

**COMMERCIAL SITE DESIGN**  
 A Sambaetek Company  
 (919) 948-6271, Fax: (919) 948-9741  
 WWW.CSITDESIGN.COM

**CLIENT/OWNER:**  
 COOK OUT  
 15 LAURA LANE, SUITE 300  
 THOMASVILLE, NC 27580  
 TELEPHONE: (336) 215-7025  
 FAX: (336) 474-1849

**COOKOUT FRESH HAMBURGERS**  
 2900 N. BROADWAY  
 KNOXVILLE, TENNESSEE  
**SITE PLAN**

PROJECT NO.	OUT-2127
FILENAME	OUT1738-SP
DRAWN BY	STH
SCALE	1" = 20'
DATE	12-22-2022
SHEET NO.	C-2