



BOARD OF ZONING APPEALS APPLICATION

Please reach out to a City of Knoxville Zoning Examiner about your project before submitting a variance application.

APPLICANT INFORMATION	APPLICANT IS:	THIS PROPOSAL PERTAINS TO:
Name (Individual not company)	Owner <input type="checkbox"/>	New Structure <input type="checkbox"/>
Street Address	Contractor <input type="checkbox"/>	Modification of Existing Structure <input type="checkbox"/>
City, State, Zip	Tenant <input type="checkbox"/>	Off Street Parking <input type="checkbox"/>
Phone Number	Other <input type="checkbox"/>	Signage <input type="checkbox"/>
Applicant Email		Other <input type="checkbox"/>

THIS IS A REQUEST FOR:

- | | |
|---|---|
| <input type="checkbox"/> Zoning Variance (Building Permit Denied) | <input type="checkbox"/> Extension of Non-Conforming Use/or Structure |
| <input type="checkbox"/> Appeal of Administrative Official's Decision | <input type="checkbox"/> Map Interpretation |

PROPERTY INFORMATION

Street Address	City, State, Zip
See KGIS.org for Parcel #	City Council District # XX 4 and Zoning District

VARIANCE REQUIREMENTS

City of Knoxville Zoning Ordinance Article 16, Section 16.3

The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.

The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

DESCRIPTION OF APPEAL

Describe your project and why you need variances.

Describe hardship conditions that apply to this variance.

Site plans and any other relevant information associated with the hardship must accompany this application.

APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE *Jeffrey L. Encher* DATE _____

File #



BOARD OF ZONING APPEALS APPLICATION

*******OFFICE USE ONLY*******

Is a plat required? Yes No

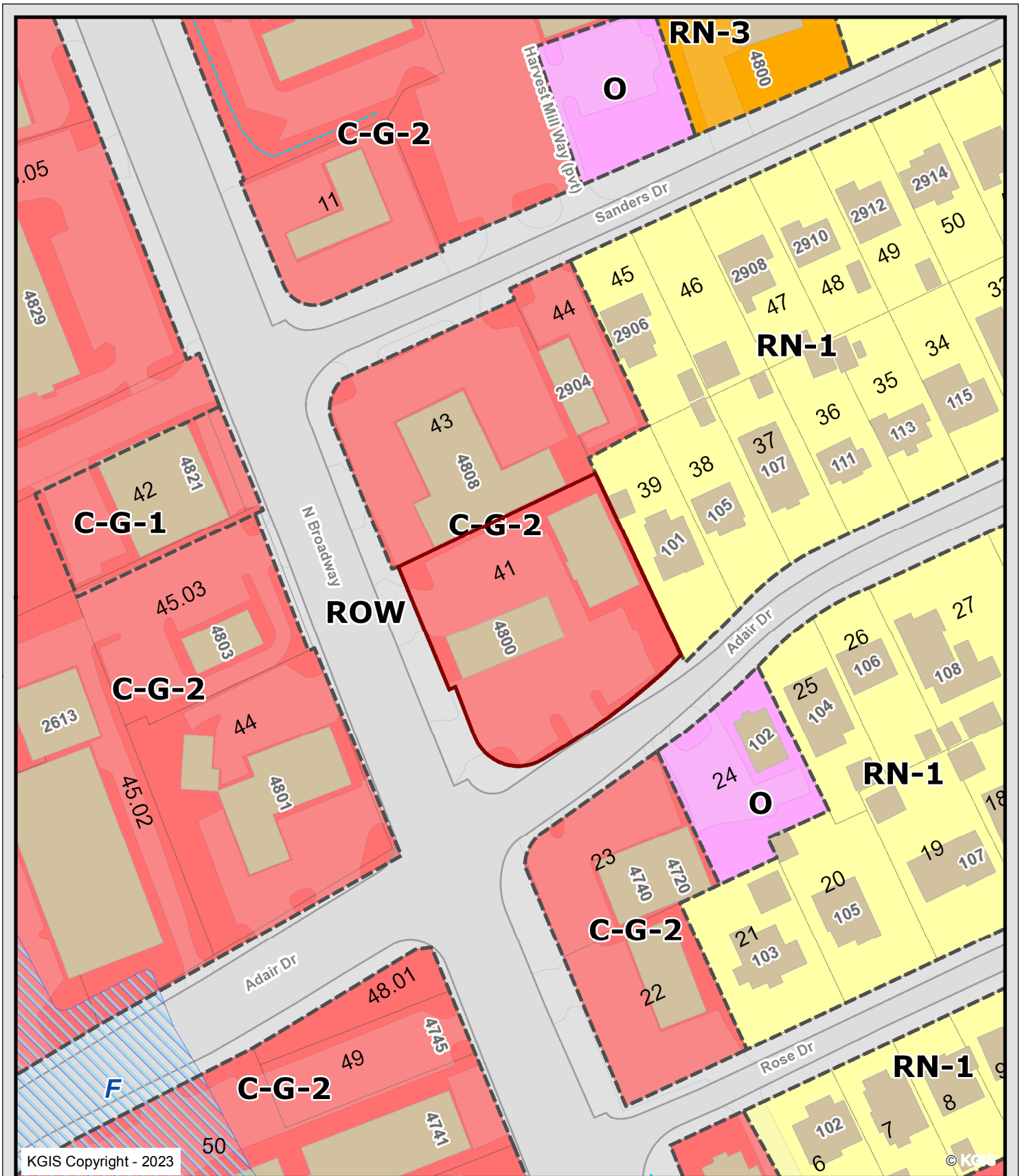
Small Lot of record?

VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):

Large empty rectangular area for providing variance request details and ordinance citations.

PROJECT INFORMATION

Date Filed	Fee Amount
Council District	BZA Meeting Date
PLANS REVIEWER	DATE



4800 N. BROADWAY ST

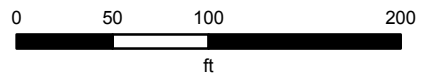
4-E-23-VA

JEFF LONCHOR

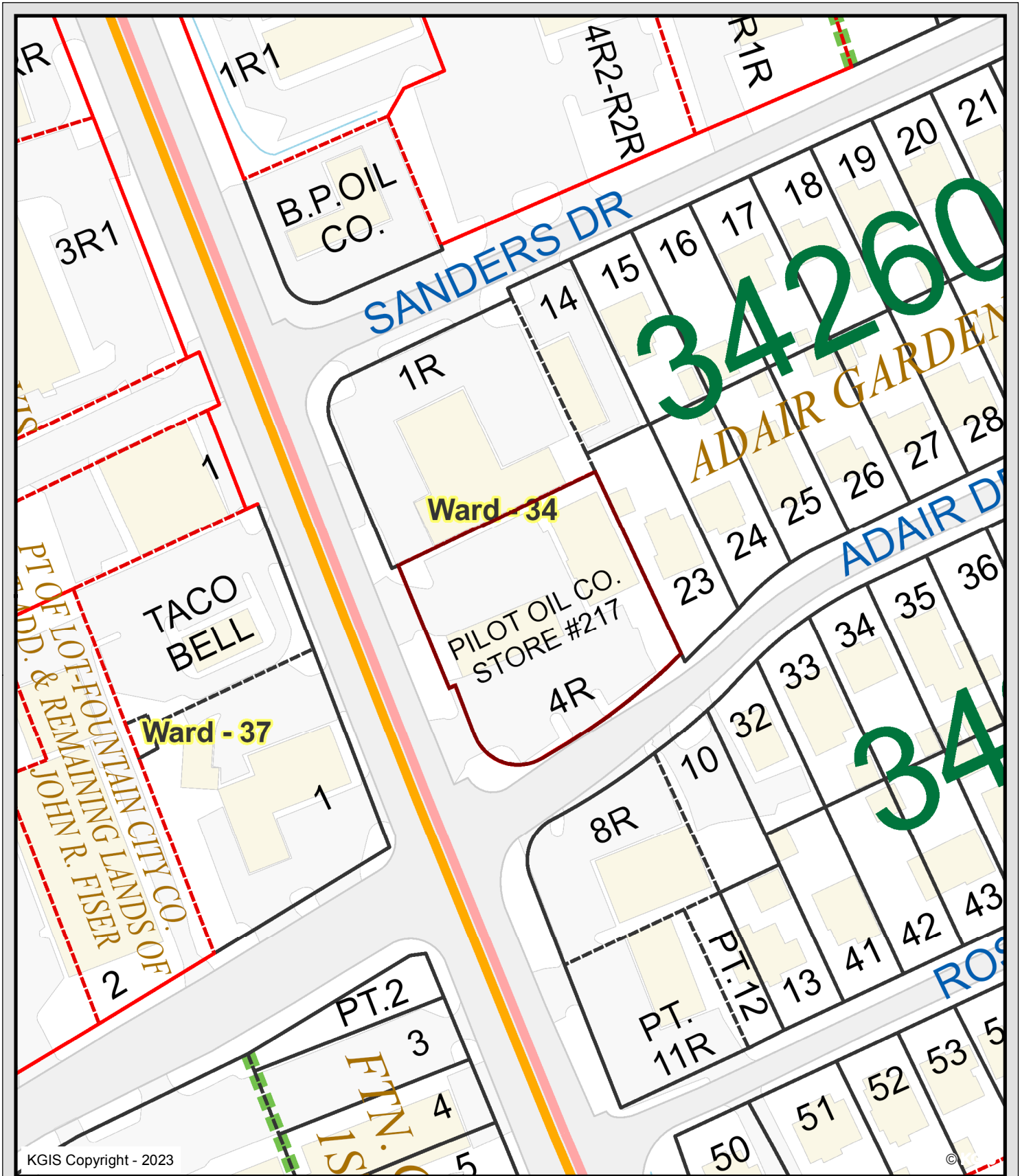
Knoxville - Knox County - KUB Geographic Information System



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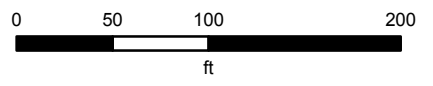
4800 N. BROADWAY ST

4-E-23-VA
JEFF LONCHOR

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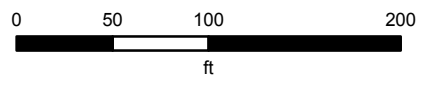
4800 N. BROADWAY ST

4-E-23-VA
JEFF LONCHOR

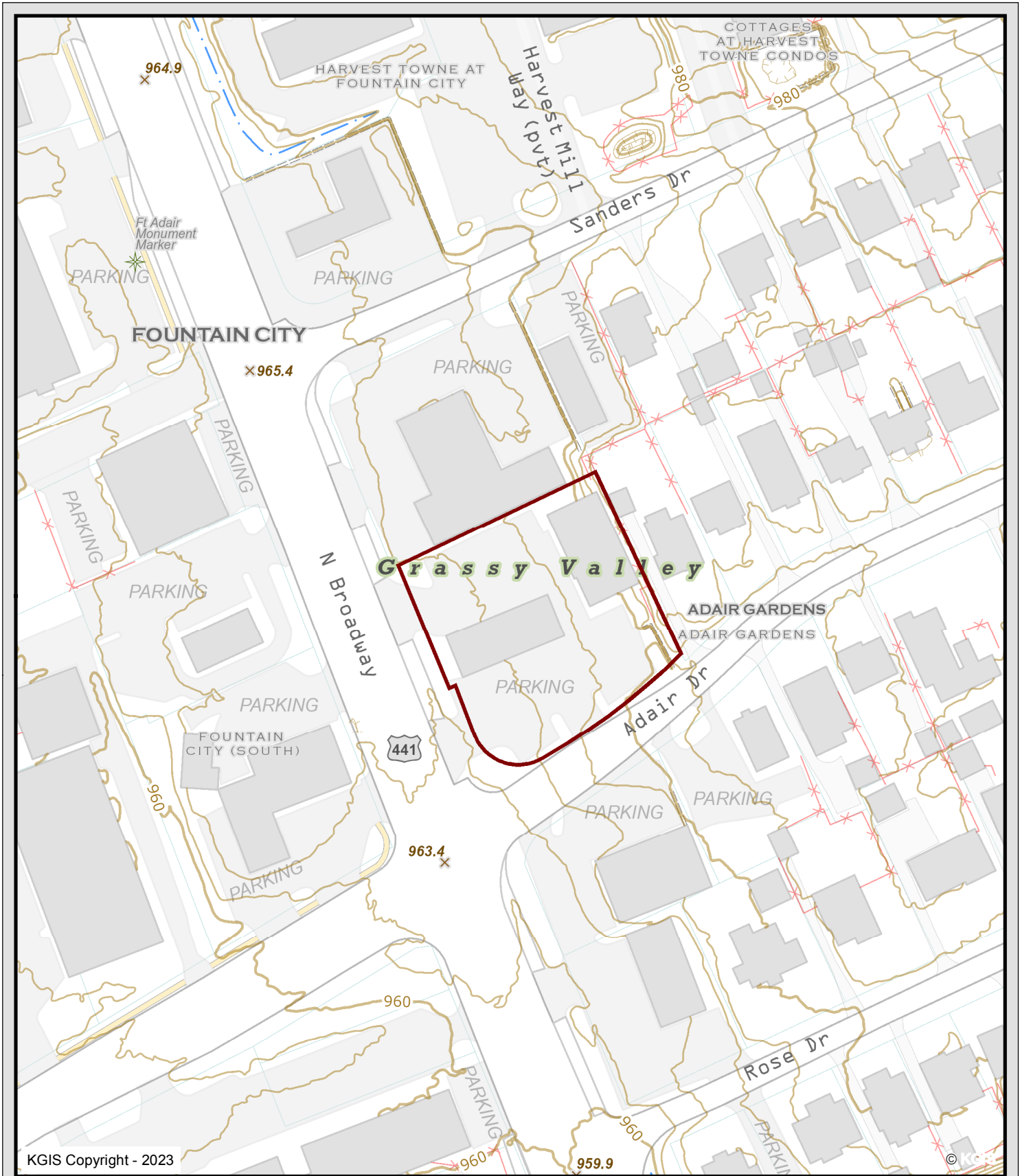
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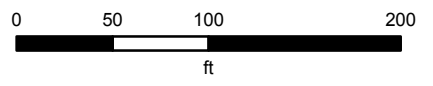
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4-E-23-VA
JEFF LONCHOR

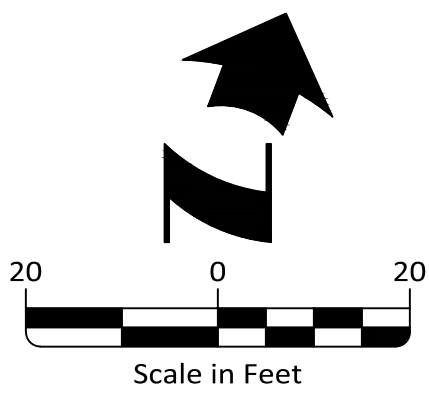
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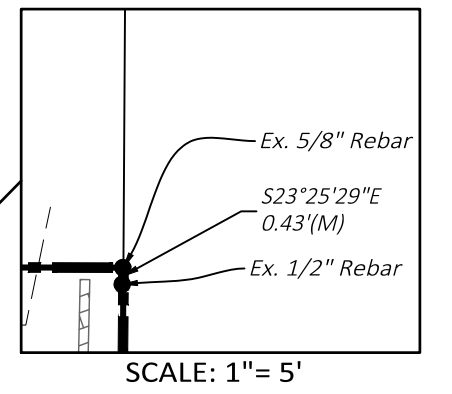
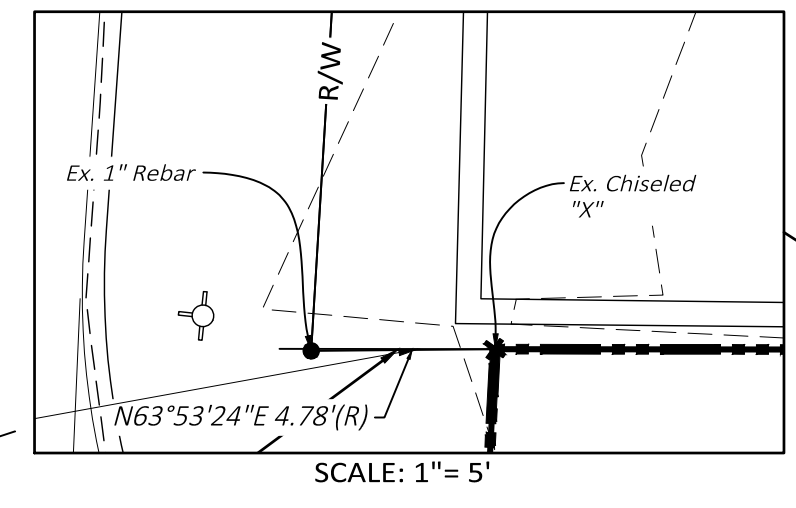
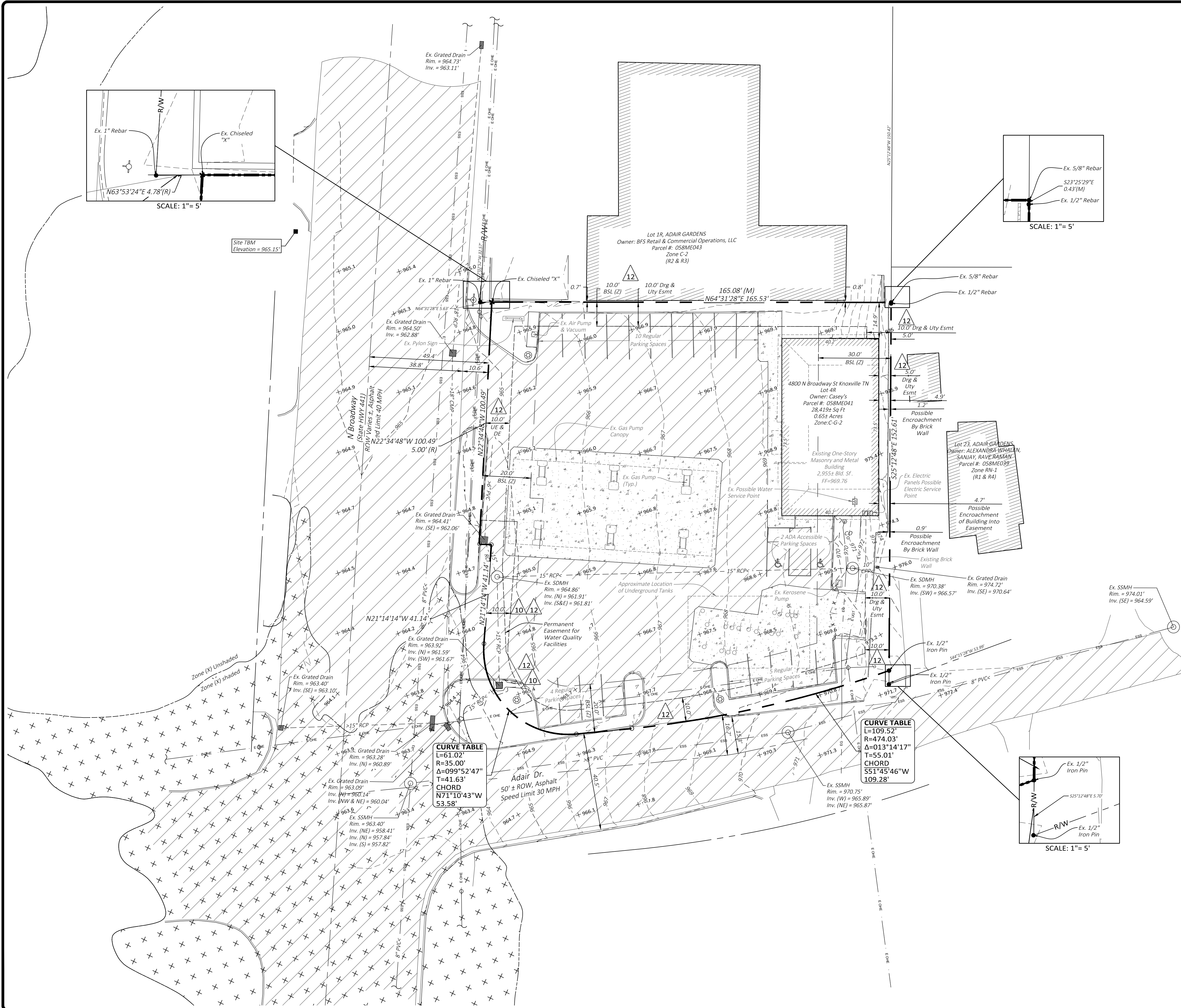


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LEGEND	
	Ex. Boundary Line
	Ex. Adjacent Boundary Line
	Ex. Right of Way Line
	Ex. Road Centerline
	Ex. Easement Line
	Ex. Building
	Ex. Asphalt
	Ex. Concrete
	Ex. Water Line
	Ex. Sanitary Sewer Line
	Ex. Gas Line
	Ex. Telephone Line
	Ex. Overhead Electric Line
	Ex. Fiber Optic Line
	Ex. Storm Drain Pipe
	Ex. Fence Line
	Ex. Ditch Line
	Ex. Contours
	Measure Bearing and Distance
	Record Bearing and Distance
	Zoning
	Tank Lid
	Bollard
	Spot Elevation
	Ex. Rebar / Iron Pipe
	Ex. Nail
	Set Chiseled "x"
	Ex. Chiseled "x"
	Ex. Monument
	Calculated Point
	Set Mag Nail w/ TN 2618 Washer
	Set 1/2" Rebar w/ TN 2618 Cap
	Ex. Television Pedestal
	Ex. Water Meter
	Ex. Fire Hydrant
	Ex. Water Valve
	Ex. Sewer Manhole
	Ex. Sewer Clean-Out
	Ex. Gas Meter
	Ex. Telephone Pedestal
	Ex. Fiber Optic Pedestal
	Ex. Electric Pedestal
	Ex. Electric Meter
	Ex. Power Pole
	Ex. Power Pole w/ Guy Wire
	Ex. Light Pole
	Ex. Light Pole w/ Pedestal
	Ex. Electric Transformer
	Ex. Mailbox
	Tank Lid
	Bollard
	Ex. Sign
	Ex. Vault Box
	Ex. Tree
	Title Commitment Schedule B2 Item
	TIC Title Insurance Commitment

See page 1 of 2 for Title Insurance Commitment description, Notes, Seal and Signature.

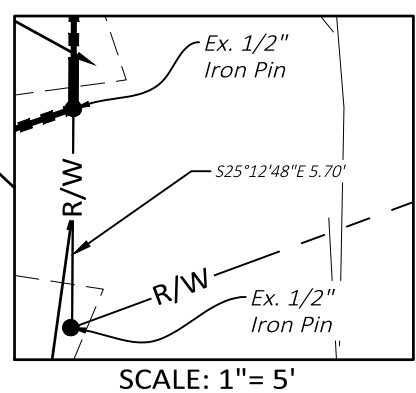


CURVE TABLE

L=61.02'
R=35.00'
Δ=099°52'47"
T=41.63'
CHORD
N71°10'43"W
53.58'

CURVE TABLE

L=109.52'
R=474.03'
Δ=013°14'17"
T=55.01'
CHORD
S51°45'46"W
109.28'



Drawing Name: C:\Users\jrd42\appdata\local\temp\AutoCache\117255A-43 ALTA SURVEY.dwg Last Modified: Jul 14, 2022 - 4:17pm Plotted on: Jul 14, 2022 - 4:17pm Plotted by: jrd42

Revision	By	Date

5704 EUPER LANE, SUITE 200 • FORT SMITH, AR 72903 • 479.452.1933 • HALFF.COM

Drawn By: PWH	Vertical Scale: -
Approved By: JSA	Horizontal Scale: 1"=20'
Date: 07.01.22	Plotting Scale: 1
Project No.: CSA-92	Drawing Name: ALTA SURVEY

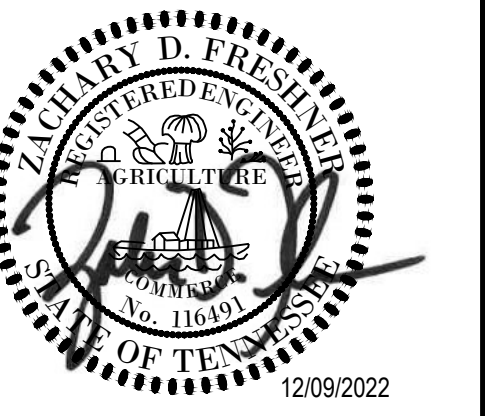
ALTA/NSPS Land Title Survey
 4800 N Broadway St,
 Knoxville, TN, 37934
 Casey's Store # 4048
 Prepared For: Casey's Marketing Company

LOT 4R,
 WARD 34, DISTRICT 7
 KNOXVILLE, KNOX COUNTY, TENNESSEE
 Knoxville, Knox County, Tennessee

Sheet No:
C-004
 Sheet 2 of 2

W:\PROJECTS\CASEYS\Caseys Remodels Plot759827_4048_P217_Knoxville TN (Broadway)\03-CIVIL\PLAN\PILOT

SITE LEGEND	
EXISTING	
REFER TO C-001 FOR EXISTING FEATURES LEGEND	
PROPOSED	
[Symbol]	PROPOSED STANDARD DUTY ASPHALT PAVEMENT
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPERTY LINE
[Symbol]	SETBACK
[Symbol]	EASEMENT
[Symbol]	CENTERLINE
[Symbol]	BUILDING
[Symbol]	CONCRETE CURB
[Symbol]	PAVEMENT/WALK
[Symbol]	PARKING SPACE COUNT
[Symbol]	SIGN



CASEY'S GENERAL STORES

STORE #4048

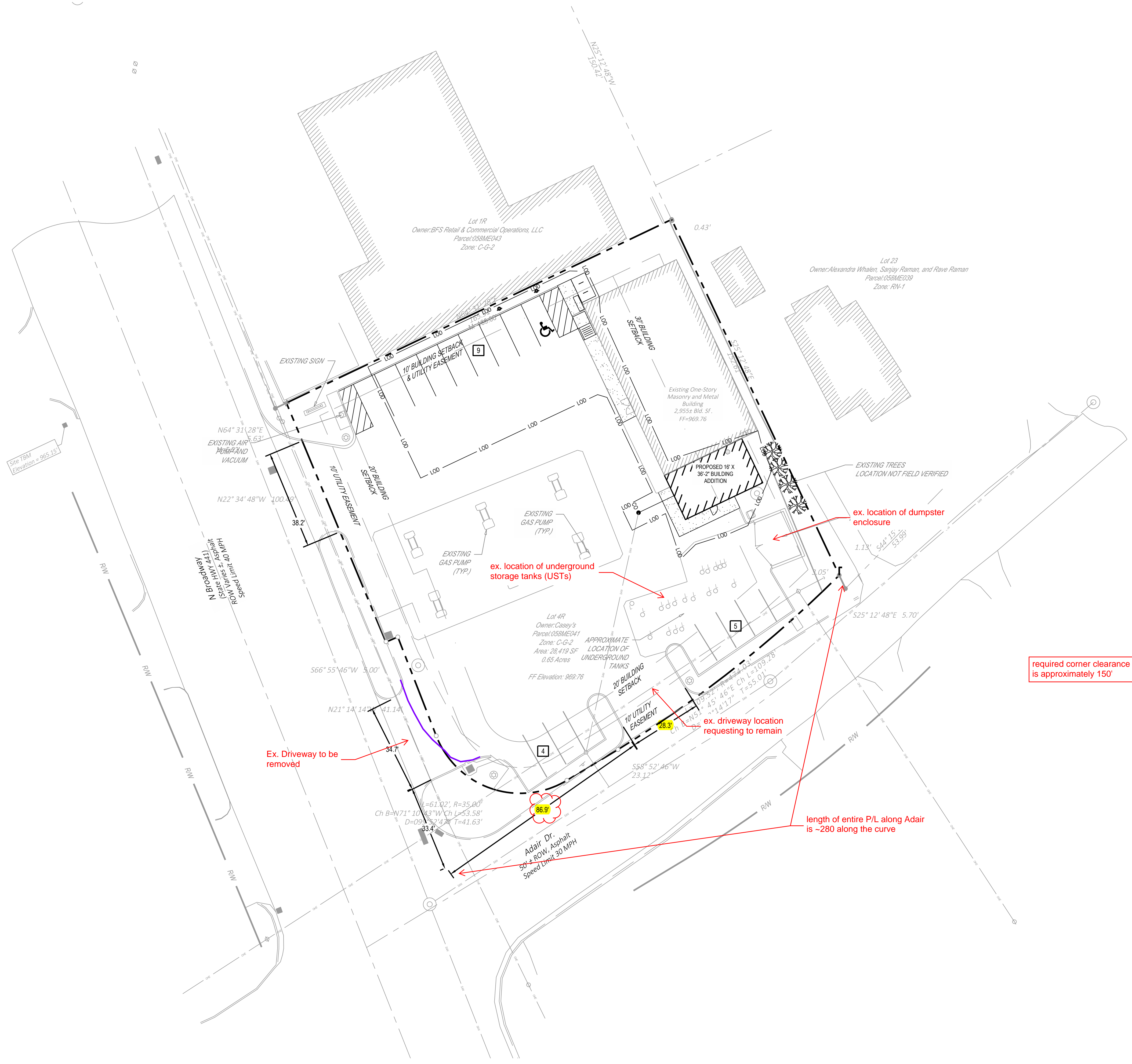
4800 N BROADWAY ST
KNOXVILLE, TN 37934

ID	Description	Date

Project Number:	759827
Scale:	
Drawn By:	MB
Checked By:	NC
Date:	11/10/22
Issue:	FOR PERMIT

Drawing Title: OVERALL SITE PLAN

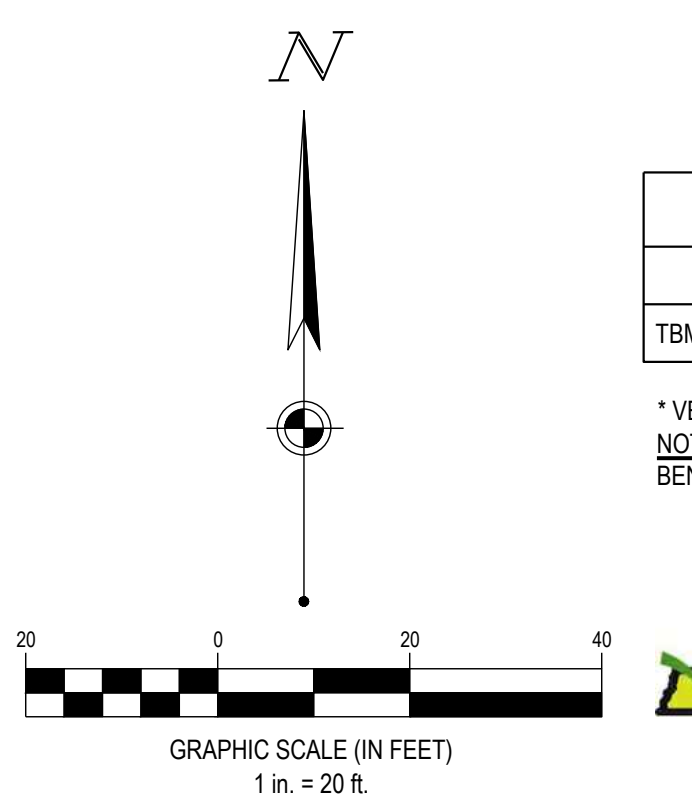
C-101



PARKING CALCULATIONS	
REQUIRED PARKING = 16 SPACES*	
*CALCULATION: 2 PER 1 GAS PUMP ISLAND + 4 PER 1000 SF OF GROSS FLOOR AREA = 12+4 = 16 SPACES	
PROPOSED PARKING = 16 PARKING SPACES + 1 ADA PARKING SPACES = 17 SPACES PROVIDED	

BENCHMARKS		
ELEVATION*	DESCRIPTION	
TBM #1	965.15	Stone Monument

* VERTICAL DATUM: NAD88
NOTE: REFER TO ALTA SURVEY, SHEET C-003 & C-004, FOR BENCHMARK LOCATIONS



Casey's

VARIANCE

4-E-23-VA

**Knoxville BZA
PUBLIC HEARING
215-4244**

From: [Steve Borden](#)
To: [Jennifer Scobee](#)
Subject: RE: April BZA applications
Date: Thursday, April 6, 2023 1:35:32 PM

Jennifer,

Please find the following responses to the April BZA applications:

4-A-23-VA 415-417 Lovenia Ave: Operations has no comment.
4-C-23-VA 4101 Westgate Dr: Operations has no comment.
4-D-23-VA 313 Tedlo Ln: Not posted online
4-E-23-VA 4800 N. Broadway St: Operations has no comment.
4-F-23-VA 2218 Cumberland Ave: Operations has no comment.

Sincerely,

Steven M. Borden, P.E.
Director/Assistant Chief Engineer
TDOT – Region 1

as

From: Jennifer Scobee <jscobee@knoxvilletn.gov>
Sent: Tuesday, March 28, 2023 1:32 PM
To: Steve Borden <Steve.Borden@tn.gov>; 'Christian.Wiberley@kub.org' <Christian.Wiberley@kub.org>
Subject: [EXTERNAL] April BZA applications

***** This is an EXTERNAL email. Please exercise caution. DO NOT open attachments or click links from unknown senders or unexpected email - STS-Security. *****

Good afternoon gentlemen,

Please have your staff review the following applications and provide your responses by Monday, April 10, 2023. You may access the applications [here](#).

We are waiting for some more information from the applicant for 4-D-23-VA so I haven't posted that on the web yet, but I've attached it to this email.

[4-A-23-VA 415-417 Lovenia Ave \[PDF\]](#)
[4-C-23-VA 4101 Westgate Dr \[PDF\]](#)
[4-D-23-VA 313 Tedlo Ln \[PDF\]](#) (*waiting on info, not posted on web yet*)
[4-E-23-VA 4800 N. Broadway St \[PDF\]](#)
[4-F-23-VA 2218 Cumberland Ave \[PDF\]](#)

Thanks,



April 10, 2023

Mr. Bryan Berry, Deputy Director
Board of Zoning Appeals
Room 475, City-County Building
P. O. Box 1631
Knoxville, Tennessee 37901

Dear Mr. Berry:

Re: Variance Requests 4-A-23-VA, 4-C-23-VA, 4-D-23-VA, 4-E-23-VA, and 4-F-23-VA

We have reviewed our records and, as far as we have been able to determine, KUB has no existing utility facilities located within the variance areas and we have no objection to the requested variances. However, KUB does not release and hereby retains all easements and rights for existing facilities, whether or not identified in our research.

If you have any questions regarding this matter, please call me at (865) 558-2483.

Sincerely,

A handwritten signature in black ink, appearing to read "C. Wiberley".

Christian Wiberley, P.E.
Engineering

CGW