

File # (office use only)

10-E-23-VA



BOARD OF ZONING APPEALS APPLICATION

Please reach out to a City of Knoxville Zoning Examiner about your project before submitting a variance application

APPLICANT INFORMATION	APPLICANT IS:	THIS PROPOSAL PERTAINS TO:
Name (Individual not company) Taylor D. Forrester	Owner <input type="checkbox"/>	New Structure <input checked="" type="checkbox"/>
Street Address 1111 N. Northshore Drive, Suite S-700	Contractor <input type="checkbox"/>	Modification of Existing Structure <input checked="" type="checkbox"/>
City, State, Zip Knoxville, TN 37919	Tenant <input type="checkbox"/>	Off Street Parking <input type="checkbox"/>
Phone Number 865-584-4040	Other <input checked="" type="checkbox"/>	Signage <input type="checkbox"/>
Applicant Email tforrester@lrwlaw.com		Other <input type="checkbox"/>

THIS IS A REQUEST FOR:

- Zoning Variance (Building Permit Denied)
- Extension of Non-Conforming Use/or Structure
- Appeal of Administrative Official's Decision
- Map Interpretation

PROPERTY INFORMATION

Street Address 5852 Washington Pike City, State, Zip Knoxville, TN
 See KGIS.org for Parcel # 49 092.08 City Council District # 4th and Zoning District C-G-1

VARIANCE REQUIREMENTS

City of Knoxville Zoning Ordinance Article 16, Section 16.3
 The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.
 The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

DESCRIPTION OF APPEAL

Describe your project and why you need variances.

See Addendum.

Describe hardship conditions that apply to this variance.

See Addendum.

Site plans and any other relevant information associated with the hardship must accompany this application.

APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE

DATE

9/13/23

File #



BOARD OF ZONING APPEALS APPLICATION

*******OFFICE USE ONLY*******

Is a plat required? Yes No

VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):

(This area is intentionally left blank for the applicant to provide variance request details and ordinance citations.)

PROJECT INFORMATION

Date Filed	Fee Amount
Council District	BZA Meeting Date
PLANS REVIEWER	DATE

ADDENDUM

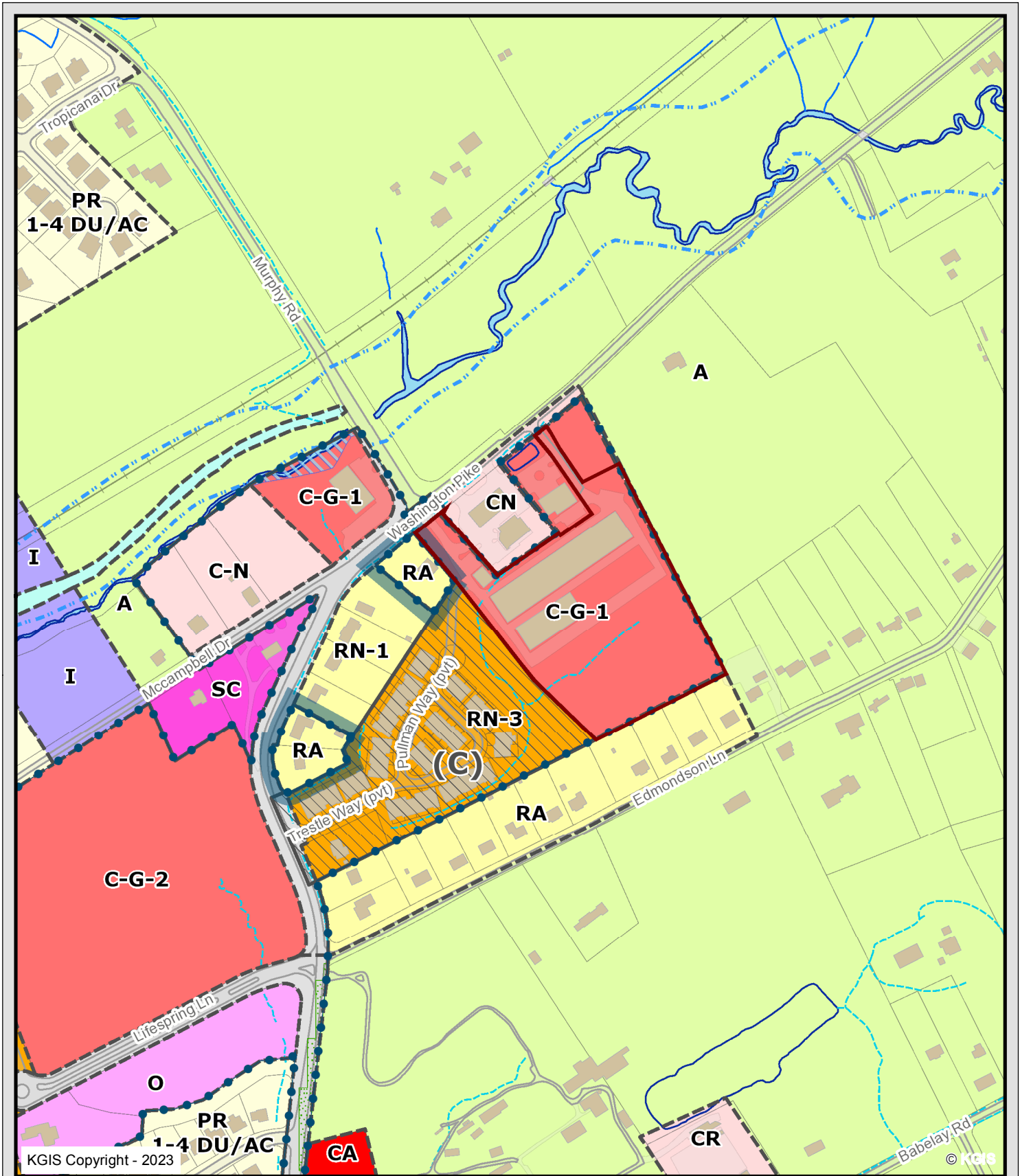
The property owner obtained use on review approval for a multi-phase self-service storage facility for the Subject Property from the Planning Commission on October 11, 2018. The property owner commenced construction of the development in the year 2019, which included building the roadway infrastructure, utilities, related site improvements and a portion of the storage facilities. Also developed thereon was an office building that included a small residential unit for employee use only in order to provide additional security.

At the time of the use on review approval the Subject Property was zoned C-4. The C-4 zoning designation was conditioned to only allow uses permitted in the C-3 zoning district, which self-storage facilities were permitted as uses on review. The first storage facility that the property owner constructed on the Subject Property was an indoor enclosed self-storage facility, where renters access the storage unit from an interior hallway. As part of the multi-phase development the plan always included the development of the traditional outdoor access self-storage facilities, where renters accessed the storage unit from the outside.

Unbeknownst to the property owner, the City of Knoxville was in the process of rezone. As a result of rezone, the Subject Property was rezoned to C-G-1. The C-G-1 zoning district does not provide outdoor access self-storage facilities as a permitted use or by special use approval.

The request is for approval of an expansion of a nonconforming use and/or structure pursuant to Article 17 of the Knoxville Zoning Ordinance on the Subject Property to allow the property owner to develop the Subject Property pursuant to the plan when the initial use on review was approved October 11, 2018 for the initial phase(s). The development has satisfied and/or exceeded the demand for the indoor enclosed self-storage facility, and now would like to be able to develop the traditional outdoor access self-storage units as has always planned. The expansion of the nonconforming use and/or structure will not require any additional infrastructure related to the access from Washington Pike. The development of the traditional outdoor access self-storage facility versus an indoor enclosed self-storage facility does not create any additional traffic or disturbance to the surrounding properties.

If the BZA approves the expansion of the non-conforming use and/or structure, then the proposed use will have to be considered and approved by the Planning Commission. Any such approval by the Planning Commission will be conditioned upon the installation of the requisite landscape screening and approval of an appropriate lighting plan.



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5852 WASHINGTON PK

10-E-23-VA

TAYLOR D. FORRESTER

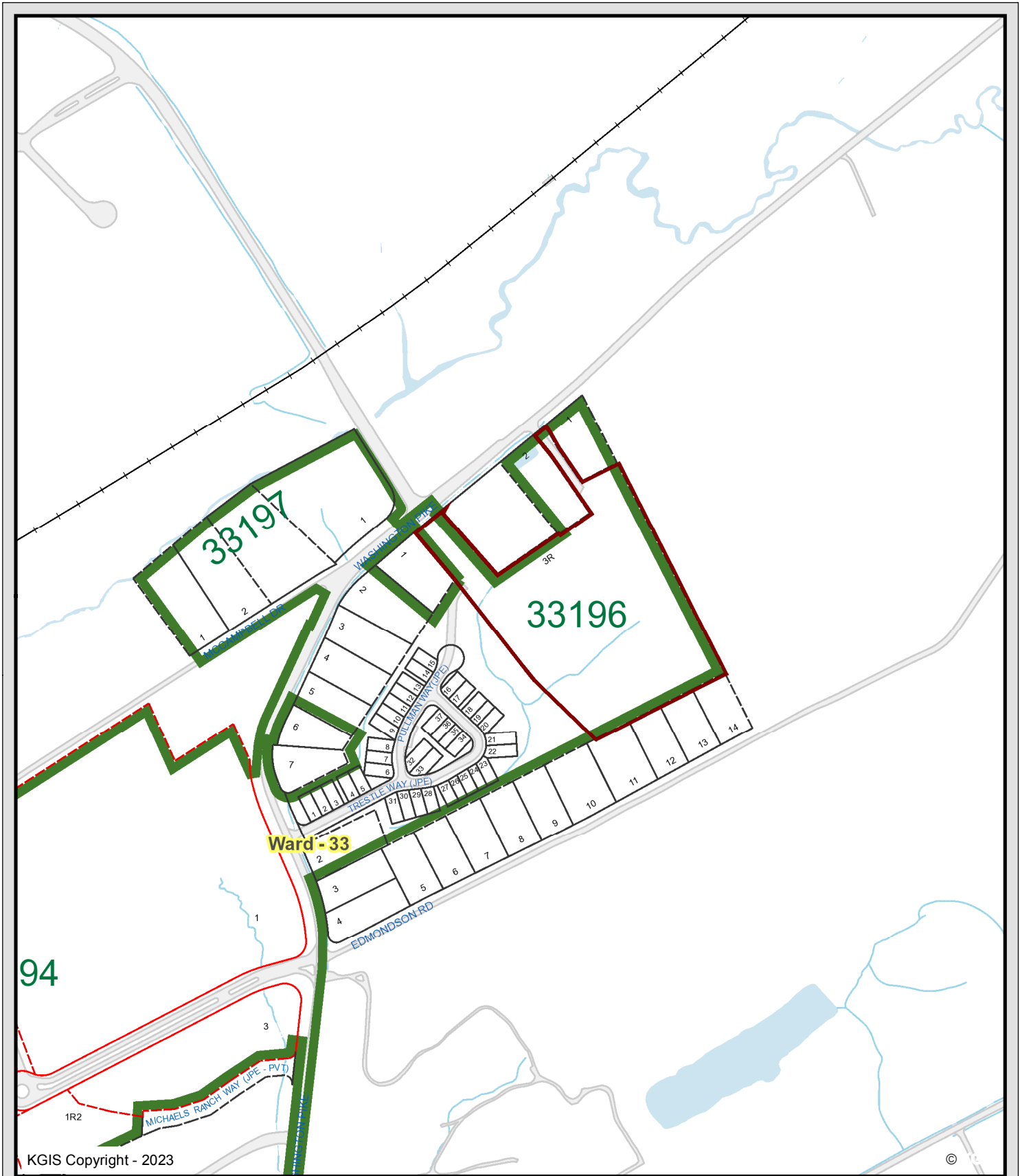
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TAYLOR D. FORRESTER

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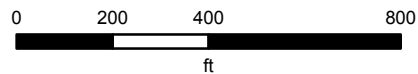
10-E-23-VA

TAYLOR D. FORRESTER

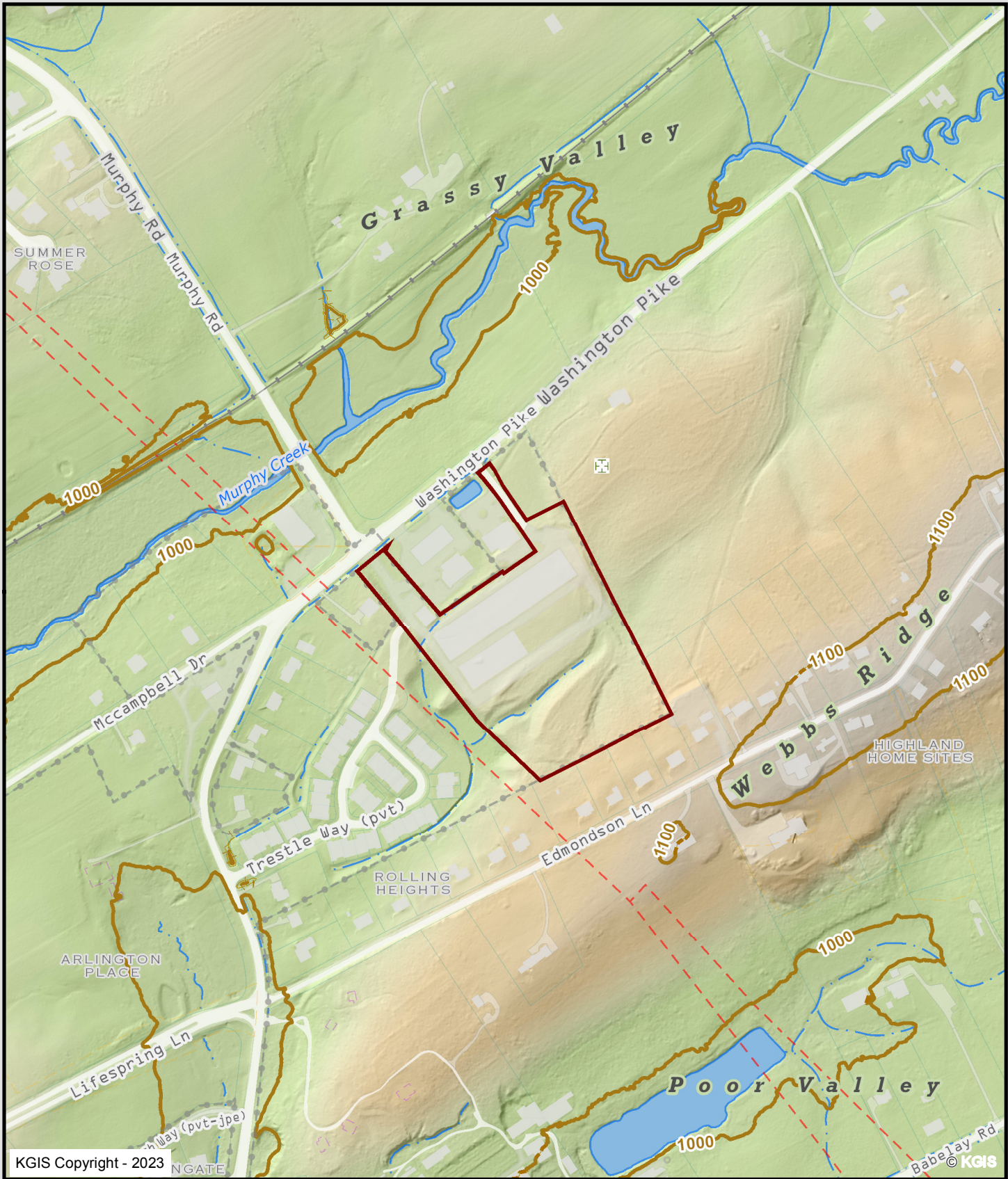
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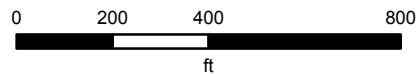
10-E-23-VA

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David Wilson Long
Dennis B. Ragsdale
John B. Waters III
J. Michael Ivens
J. Randolph Miller
Garrett P. Swartwood
Lee A. Popkin
W. Michael Baisley
Kyle A. Baisley
Taylor D. Forrester
Alexander O. Waters



Long, Ragsdale & Waters, P.C.

ATTORNEYS AT LAW

Oliver D. Adams
William D. Edwards
Katherine Sanford Goodner
Angelia M. Nystrom
Mycol E. Scott
C. Paul Harrison†
Jennifer Milligan Swindle*†
Christopher A. Hall†

John B. Waters, Jr. (1929-2018)
R. Louis Crossley, Jr. (1953-2019)

September 28, 2023

Mike Robinson
Zoning Examiner
Plans Review & Inspections Division

Via Email
mrobinson@knoxvilletn.gov

Re: Variance application - 5852 Washington Pike (the "Property")

Dear Mike,

In response to your email on September 21, 2023, and the requests therein please find responses herein below. These responses were prepared by our engineer, Mark Graham.

- a. Yard requirements shall not be permitted which are less than those required for the district in which the nonconforming use is located.

No building is within the setback. The minimum buffer yard is 20 ft. The proposed plans encroach in the buffer yard a maximum 3.5 ft for 41 linear feet. This was discovered several months ago. At that time, Chris Chandler, the landscape architect, corresponded with the City Reviewers. This issue may be resolved with an Alternate Landscape Design ("ALD") without difficulty. The ALD generally increases the planting density in this area.

- b. Percentage of lot covered by building shall not be greater than the maximum stated for the district.

From our review, the C-G-1 zoning district does not have a maximum.

- c. The architectural style of any new building or additions permitted under this section shall be similar to that which exists in the area.

The architectural plans previously submitted for Use on Review are generic. They are similar; however, they are not specific to this project.

- d. Off-street parking shall be provided and shall be screened from adjacent property by landscaping or a solid screening fence or wall not less than five nor more than six feet in height.

Landscaping Plans have been submitted. The off-street parking areas are screened from the adjacent properties.

- e. Landscaping may be required where the board deems it necessary.

Understood.

- f. Signs used in conjunction with the nonconforming use shall be governed by the regulations of the district in which it is located.

Understood.

- g. These requirements shall be binding on the property regardless of succession of ownership, unless the use is changed to one generally permitted in the district, or the zoning is changed to make the use conforming. Performance bonds or other sureties acceptable to the city may be required where appropriate to the circumstances of the case.

Understood.

- h. Applications shall be accompanied by site and building plans, and photographs of present conditions of the property and surrounding property.

Attached hereto are the Site Layout Plan, the Grading Plan, the Drainage Plan and the Landscape Plans.

I will send the photographs of the present conditions of the Property in a separate email, as I am considered about the size of all the attachments.

Respectfully yours,

LONG, RAGSDALE & WATERS, P.C.

By: _____

Taylor D. Forrester

cc: Charles Wilder (via email)
Danny Heidle (via email)
Mark Graham (via email)

- X SITE KEYED NOTES**
- 1 LIGHT ASPHALT, SEE DETAIL 1/CX.X
 - 2 HEAVY DUTY ASPHALT, SEE DETAIL 2/CX.X
 - 3 EXTRUDED CONCRETE CURB, SEE DETAIL 3/CX.X
 - 4 4" WIDE PAINTED WHITE STRIPE
 - 5 CHAIN LINK FENCE, MATCH EXISTING
 - 6 LAWN
 - 7 LANDSCAPE BUFFER, SEE SHEET LS
 - 8

GENERAL NOTES

ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.

THIS SITE IS A PRIORITY CONSTRUCTION ACTIVITY

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY, INCLUDING BUT NOT LIMITED TO COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.

CONTRACTOR IS TO COORDINATE THE SITE WALL PLANS WITH THE SITE/LAYOUT PLAN AND GRADING PLAN. VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE START OF CONSTRUCTION.

COORDINATE ALL UTILITY MODIFICATIONS WITH LOCAL UTILITY BOARD.

LOCATE EXISTING WATER LINE AND SANITARY SEWER LINE BEFORE CONSTRUCTION.

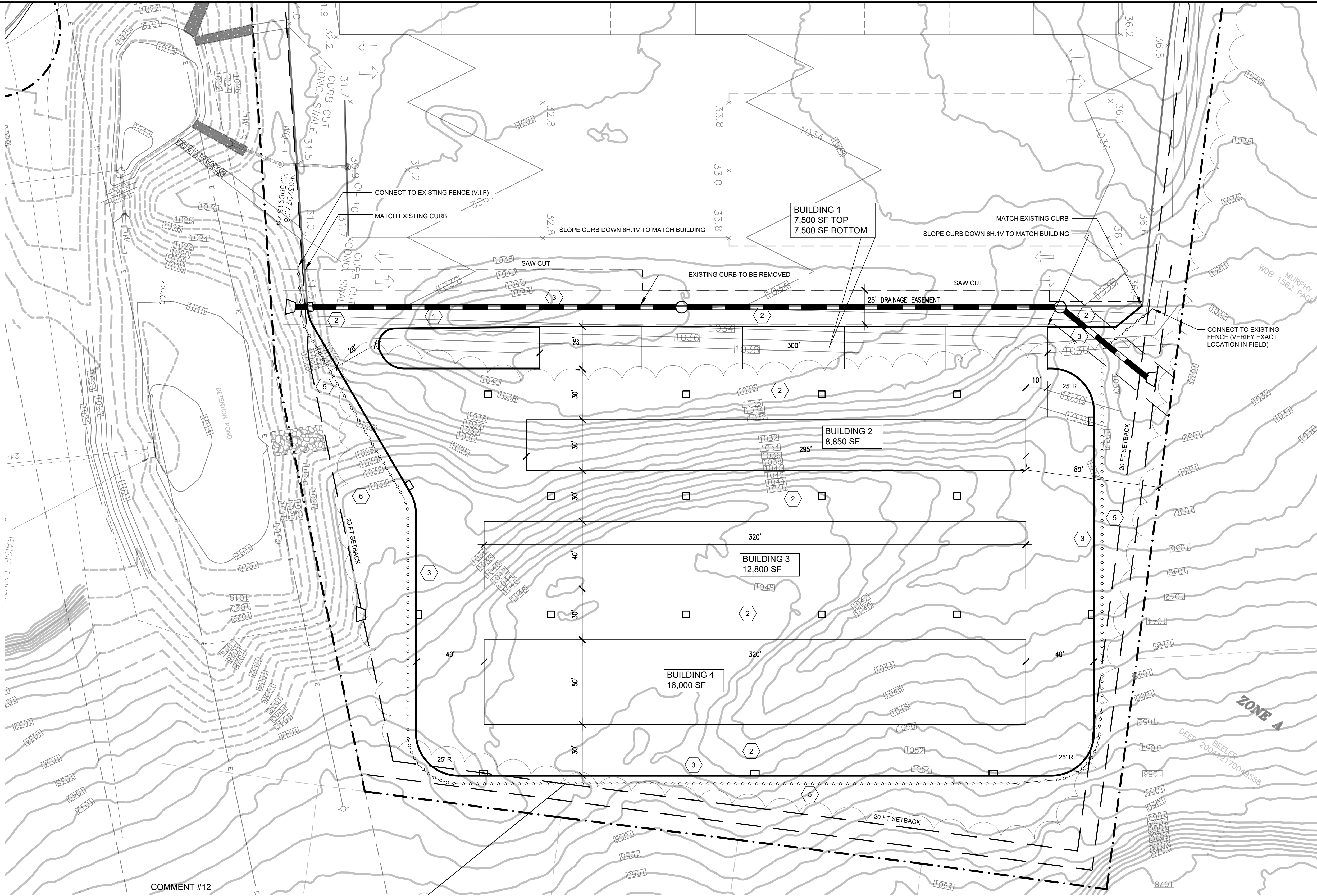
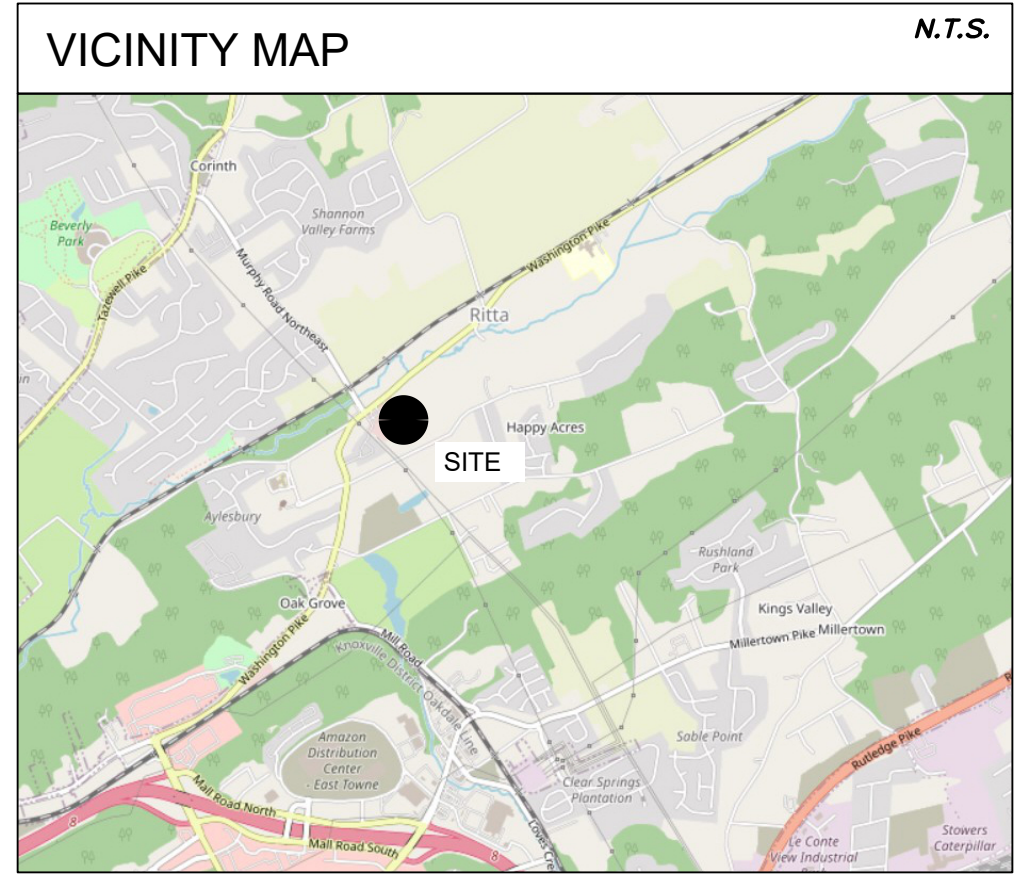
PLAN RELOCATION OF EXISTING OVERHEAD UTILITIES AND WATER, SEWER LINES BEFORE EXCAVATION.

EXISTING CONDITIONS AND PROPERTY LINES BY OTHERS

SURVEY:
 TERRY ROMANS, RLS, PE
 1923 HOPEWELL ROAD
 KNOXVILLE TENNESSEE 37920
 (865) 579-5738

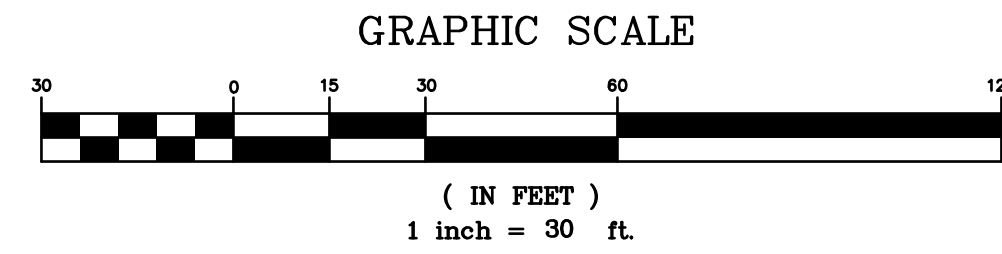
Parcel ID 049 09208
 CLT Map 49
 Ward 33
 City Block 33196

Total Area 8.41 Ac
 Disturbed Area xx
 Added Impervious xx



COMMENT #12
 NO OUTDOOR VEHICLE, TRUCK OR EQUIPMENT STORAGE IS PROPOSED

COMMENT #15



LAYOUT PLAN
 SCALE: 1" = 30'-0"

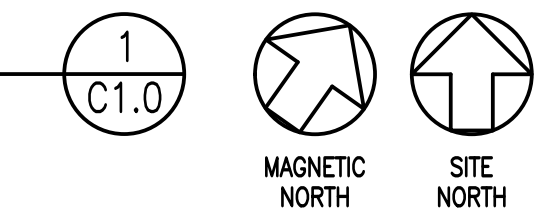


FIGURE 3. LAYOUT PLAN

8-C-23-SU
 7/21/23

MARK V GRAHAM
 ENGINEERING CONSULTANTS, LLC

PHONE: 865 712-9210
 MarkV.Graham@gmail.com

PO BOX 58131
 KNOXVILLE, TN 37950

NO.	DESCRIPTION	DATE

865 STORAGE
 5852 WASHINGTON PIKE
 KNOXVILLE, TENNESSEE

LAYOUT PLAN

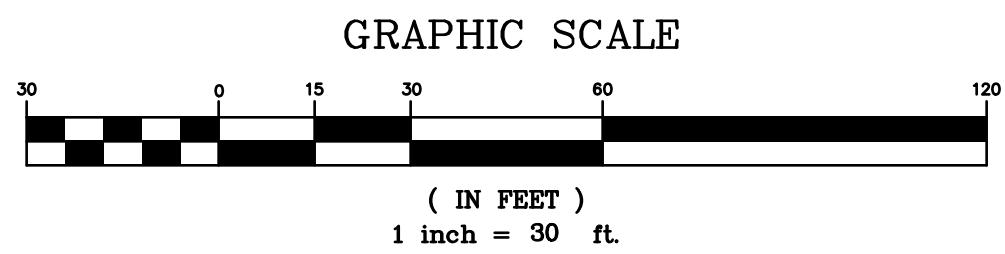
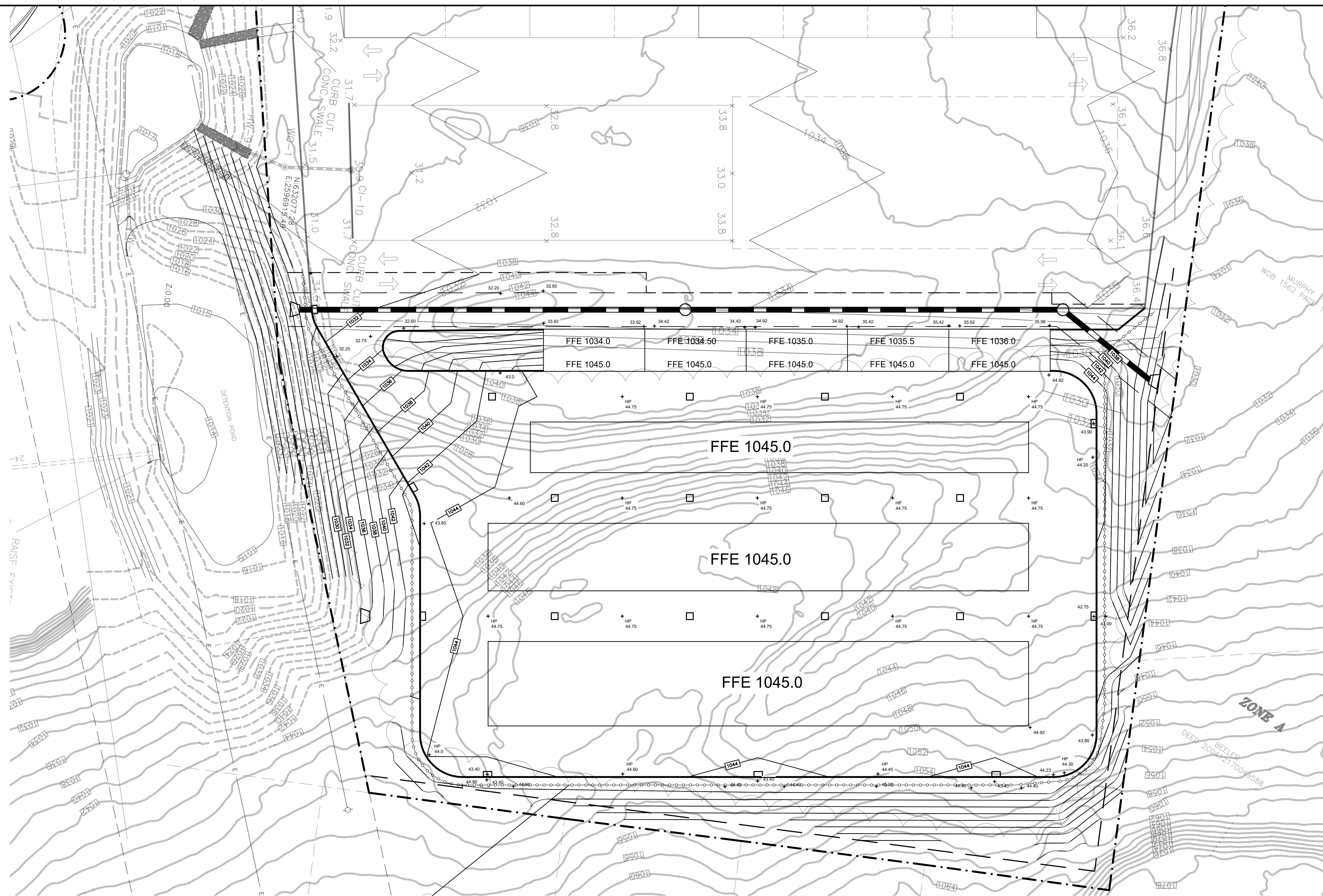
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C1.0
 SHEET 1 OF 6

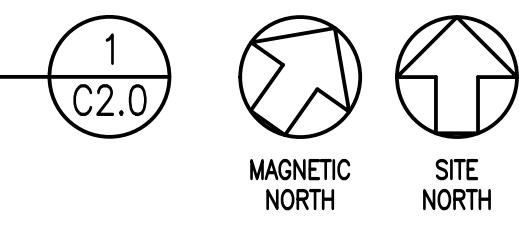
PROJ. NO. 21127

GRADING & EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE A MINIMUM REQUIREMENT.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, MODIFYING AND ADDING EROSION CONTROL MEASURES DURING CONSTRUCTION TO KEEP SILT FROM EXITING THIS SITE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS AND COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS RELATED TO SITE GRADING AND STORMWATER RUNOFF.
 3. EROSION CONTROL SHALL BE MAINTAINED UNTIL LAWNS HAVE BEEN ESTABLISHED.
 4. AFTER LAWNS HAVE BEEN ESTABLISHED, CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, I.E., SILT FENCE.
 5. CONTRACTOR TO COORDINATE ALL NEW SITE GRADING WITH OWNER'S REP. ENGINEER PRIOR TO CONSTRUCTION IN ORDER TO ENSURE PROPER COHESION WITH OVERALL SITE DRAINAGE PLAN.
 6. ADJUST SWALES AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE EXISTING BUILDING FOUNDATIONS.
 7. SEED AND MULCH DISTURBED AREAS IMMEDIATELY AFTER CONSTRUCTION.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 15 DAYS (7 DAYS FOR SLOPES GREATER THAN 35%) AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS, WHICH SHOW SIGNS OF EXCESSIVE EROSION.
8. SURROUND TOPSOIL STOCKPILE AREA WITH SILT FENCE SEED AND MULCH STOCKPILE. ADJUST SWALES AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE TOPSOIL STOCKPILE.
 9. CONTRACTOR TO FIELD VERIFY CRITICAL GRADES AT ENTRANCES PRIOR TO CONSTRUCTION.
 10. VERIFY EXACT SIZE DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
 11. CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY, INCLUDING BUT NOT LIMITED TO COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.
 12. NO SLOPES SHALL BE STEEPER THAN 2(H):1(V).
 13. SLOPES STEEPER THAN 3(H):1(V) SHALL HAVE RIP RAP OVER EROSION CONTROL FABRIC.
 14. OUTFALLS AND EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST TWICE WEEKLY AND AT LEAST 72 HOURS APART.
 15. VEGETATION, EROSION CONTROL MEASURES AND OTHER PROTECTIVE MEASURES ARE REPAIRED, REPLACED, OR MODIFIED WITHIN 7 DAYS.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- THIS SITE IS A PRIORITY CONSTRUCTION ACTIVITY



GRADING PLAN
SCALE: 1" = 30'-0"



Know what's below.
Call before you dig.

8-C-23-SU
6/26/2023

MARK V GRAHAM
ENGINEERING CONSULTANTS, LLC

PHONE: 865.719.9210
MarkV.Graham@gmail.com
PO BOX 63131
KNOXVILLE, TN 37950

NO.	DESCRIPTION	DATE

865 STORAGE
5852 WASHINGTON PIKE
KNOXVILLE, TENNESSEE

GRADING PLAN

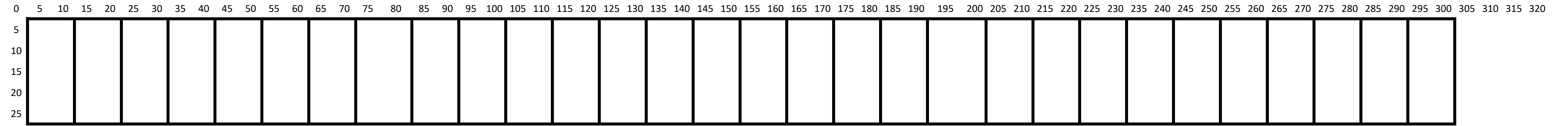
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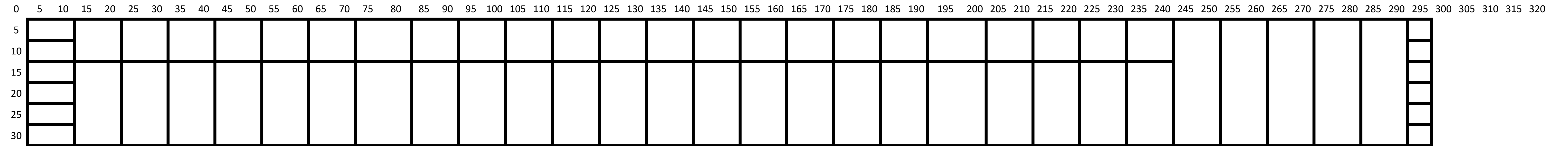
SHEET 2 OF 6

PROJ. NO. 21127

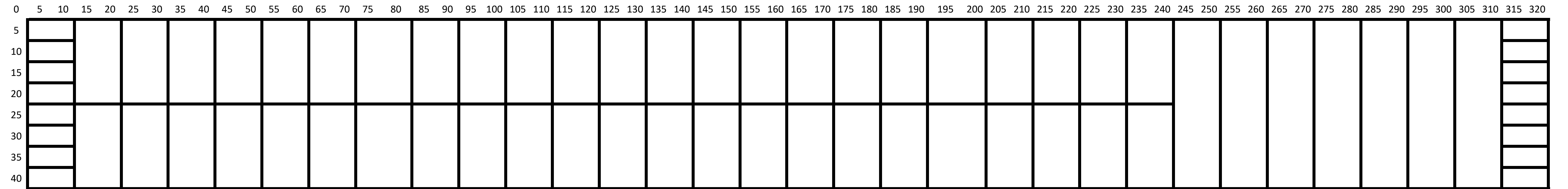
BUILDING 1 TWO FLOORS



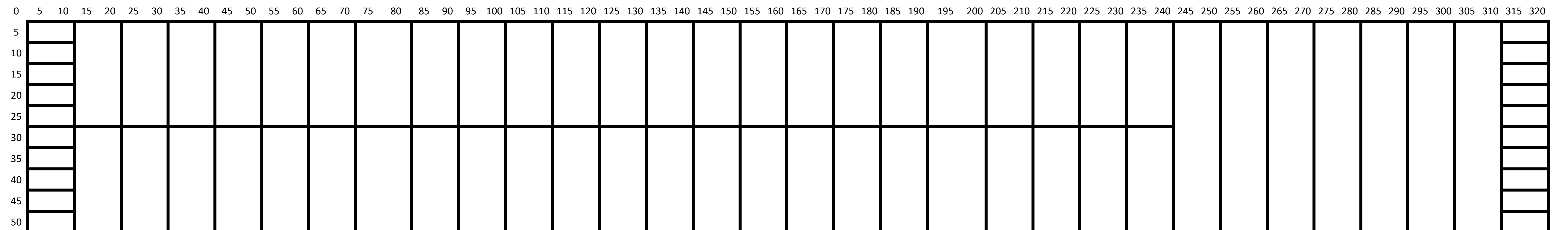
BUILDING 2



BUILDING 3



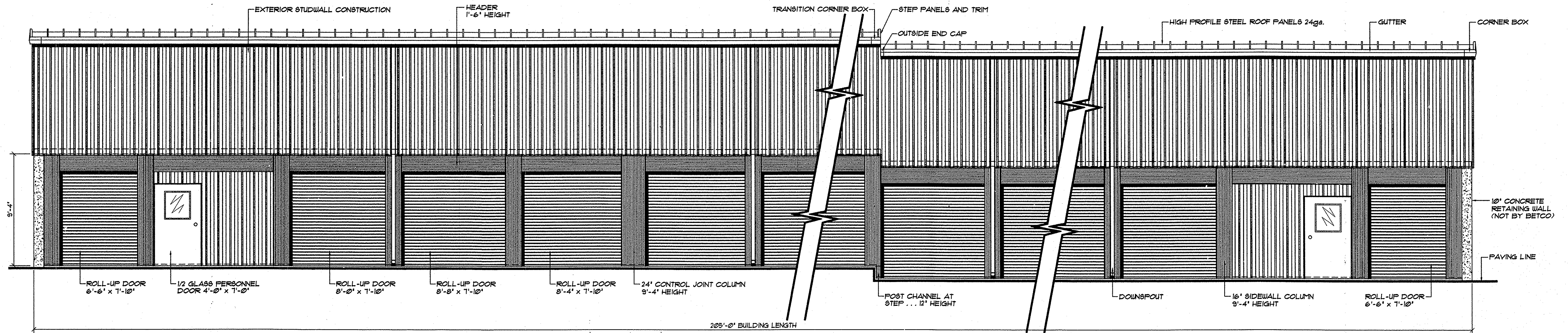
BUILDING 4



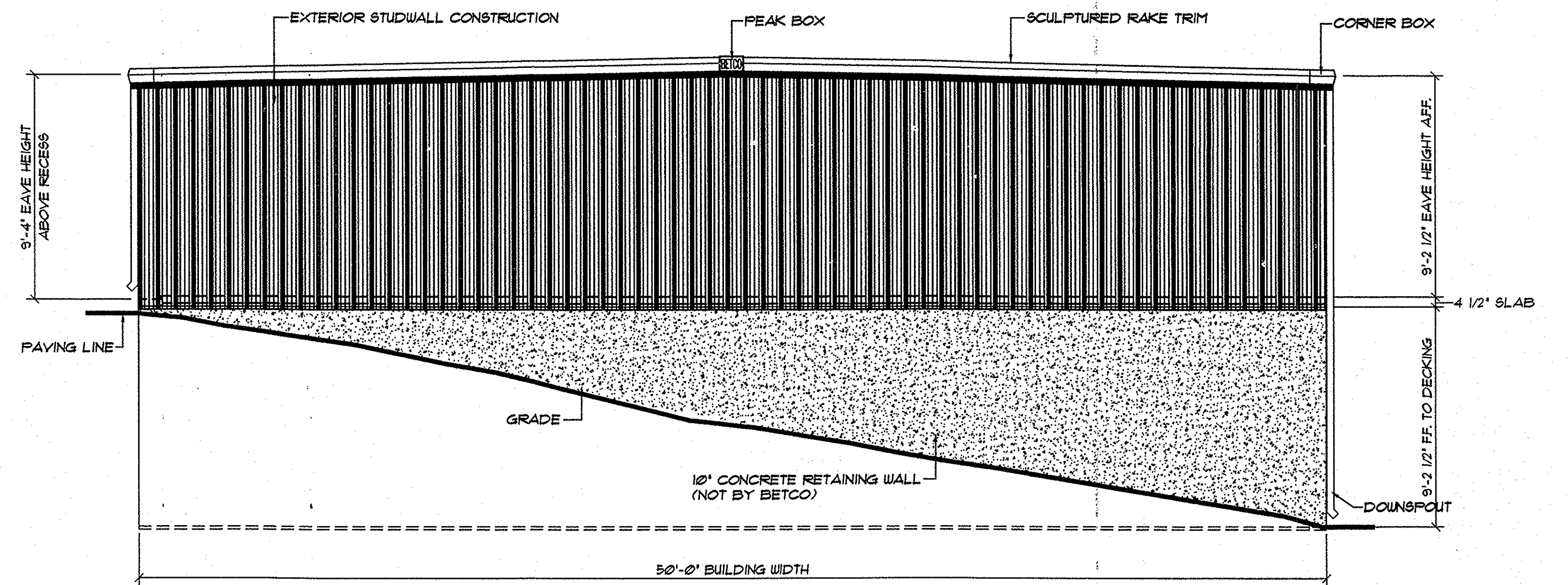
	BUILDING				TOTAL
	1-TOP	1-BOTTOM	2	3	
5 X5			6		6
5x10			6	16	20
10X10			23		23
10X20			23	46	69
10X25	30	30			48
10X30			5		5
10X40				7	7
10X50					7
					<hr/> 267

8-C-23-SU
7/21/23

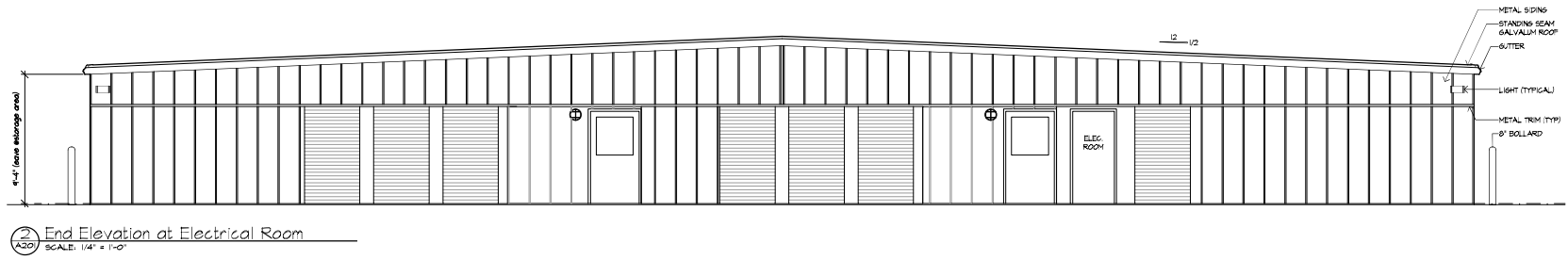
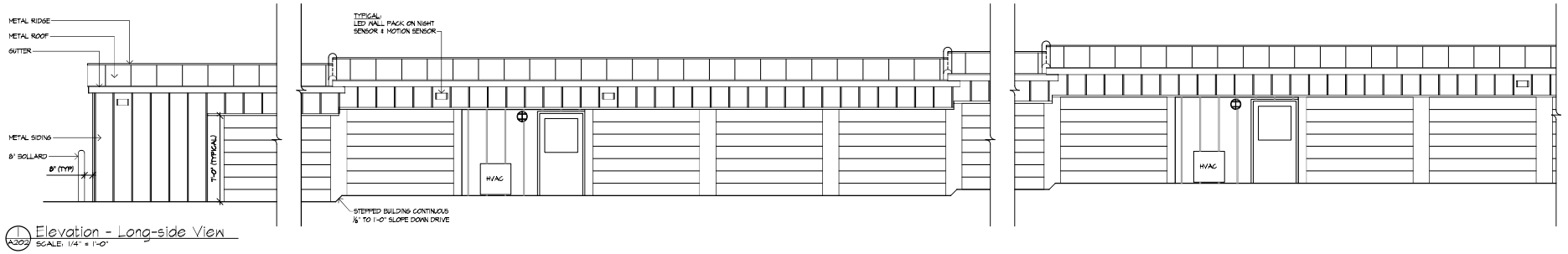
Figure 1. Floor Plan & Unit Mix



A SIDEWALL ELEVATION... BUILDING "1"
 S1 SCALE: 1/4" = 1'-0"



B ENDWALL ELEVATION... BUILDING "1"
 S1 SCALE: 1/4" = 1'-0"



Typical Elevation

8-C-23-SU
6/26/2023

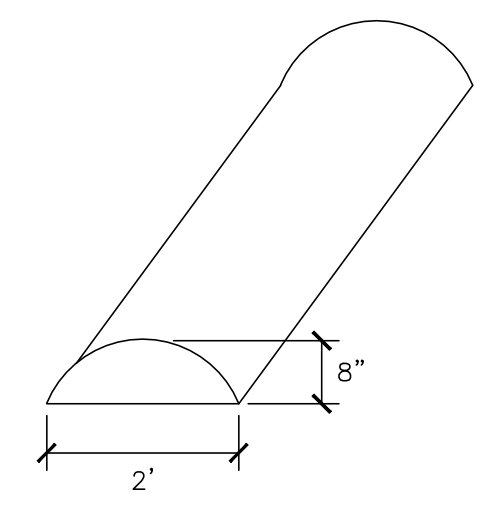


Point	Northing	Easting	Description
1	632571.257	2597128.027	FACE CURB
2	632540.697	2597174.974	FACE CURB
3	632636.446	2597203.820	100' RAD
4	632544.579	2597181.333	FACE CURB
5	632545.484	2597176.418	5' RAD
6	632558.760	2597183.944	FACE CURB
7	632545.726	2597254.754	FACE CURB
8	632530.953	2597252.035	FACE CURB
9	632520.856	2597256.272	FACE CURB
10	632529.142	2597261.870	10' RAD
11	632501.830	2597272.983	FACE CURB
12	632479.423	2597228.285	50.5' RAD
13	632431.728	2597308.126	FACE CURB
14	632297.449	2597381.959	FACE CURB
15	632017.821	2596976.168	FACE CURB
16	632143.308	2596876.293	FACE CURB
17	632218.738	2596825.693	FACE CURB
18	632252.212	2596791.625	FACE CURB
19	632268.679	2596810.321	FACE CURB
20	632264.784	2596812.997	FACE CURB
21	632258.294	2596847.834	FACE CURB
22	632278.872	2596833.636	25' RAD
23	632486.850	2597179.091	FACE CURB
24	632513.949	2597173.287	FACE CURB
25	632499.197	2597170.572	15' RAD
26	632515.238	2597166.180	FACE CURB
27	632298.655	2596797.887	OFFICE BLDG
28	632261.239	2596831.054	OFFICE BLDG
29	632287.772	2596860.987	OFFICE BLDG
30	632325.188	2596827.820	OFFICE BLDG
31	632230.322	2596852.768	OFFICE BLDG
32	632160.330	2596900.996	STORAGE BLDG
33	632421.343	2597279.773	STORAGE BLDG
34	632491.335	2597231.543	STORAGE BLDG
35	632131.308	2596929.374	RV STORAGE
36	632065.433	2596974.768	RV STORAGE
37	632178.917	2597139.453	RV STORAGE
38	632244.792	2597094.060	RV STORAGE

LEGEND

- NEW CONCRETE PAVEMENT
JOINT PATTERN TO BE APPROVED BY ARCHITECT/ENGINEER
- NEW ASPHALT PAVEMENT
- GRAVEL
- TEMPORARY BENCH MARK
COORDINATE WITH CONTRACTOR

EXISTING IMPERVIOUS AREA = 12883 S.F.
 PROPOSED IMPERVIOUS AREA
 PAVEMENT = 150,892 S.F.
 POND = 24,234 S.F.



WATER BREAK UPPER EXIT

- GENERAL NOTES:**
- ALL COORDINATES AND ELEVATIONS BASED ON KGIS DATA.
 - LOCATION OF EXISTING ABOVE GROUND AND UNDERGROUND UTILITIES AND STRUCTURES INDICATED ARE APPROXIMATE ONLY, AND THOSE SHOWN MAY NOT BE ALL THAT EXIST ON THE PROJECT SITE. CONTRACTOR SHALL DETERMINE ACTUAL LOCATION OF ALL UTILITIES AND STRUCTURES ON THE PROJECT SITE AND SHALL ASSUME RESPONSIBILITY FOR ANY DAMAGE TO UTILITY LINES DURING WORK ON THE PROJECT. FOR UNDERGROUND UTILITY LOCATION CALL TENNESSEE ONE CALL AT 811.
 - ALL COORDINATES AND DIMENSIONS TO EDGE OF PAVEMENT, FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - THIS PLAN IS TO SHOW THE SITE LAYOUT FOR PAVING, CURB, SIDEWALK, BUILDINGS, ETC. ONLY.
 - ALL WORK AND MATERIALS SHALL COMPLY WITH THE CITY OF KNOXVILLE REGULATIONS AND O.S.H.A STANDARDS.
 - CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.
 - PAVEMENT MARKINGS SHALL BE 4" WIDE SOLID WHITE PAINTED STRIPES MEETING REQUIREMENTS AND INSTALLED ACCORDANCE WITH APPLICABLE DETAILS AND SPECIFICATIONS.
 - PORTLAND CEMENT CONCRETE USED IN SITE WORK CONSTRUCTION TO BE MIXED AND PLACED IN ACCORDANCE WITH A.C.I. STANDARD 318 - LATEST EDITION.
 - THE MOST UP TO DATE A.D.A. REQUIREMENTS SHALL BE FOLLOWED AT ALL TIMES.
 - ANY DISCREPANCIES IN THE LAYOUT SHALL BE REPORTED TO ROMANS ENGINEERING IMMEDIATELY.
 - CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND PERFORMING ALL DEMOLITION AND UTILITY RELOCATION REQUIRED. ALL WORK SHALL COMPLY WITH ALL APPLICABLE REGULATIONS.
 - SEE DETAILS FOR PROPOSED PAVEMENT SECTIONS UNLESS OTHERWISE SPECIFIED BY LICENSED GEOTECHNICAL ENGINEER.

SITE LAYOUT NOTES

IN THE PREPARATION OF THESE SITE DRAWINGS, ADS HAS RELIED SOLELY ON AN OWNER FURNISHED SURVEY AND AS SUCH ADS DOES NOT ASSUME RESPONSIBILITY FOR CORRECTNESS OF THAT INFORMATION.

PROPERTY LINE STAKEOUT

ALL PROPERTY LINES SHALL BE MARKED FOR ROUGH LOCATION WITH COLORED SURVEYOR FLAGGING TAPE.

ALL PROPERTY CORNERS SHALL BE ROUGH PINNED WITH 2" HIGH METAL ROD OR EQUIVALENT AND FLAGGED WITH SURVEYOR TAPE AT COMPLETION OF ROUGH GRADING AND MAINTAINED THROUGHOUT COURSE OF WORK.

ROUGH LOCATION SHALL MEAN ACCURATE WITHIN 2' HORIZONTALLY. DO NOT ERR OUTSIDE PROPERTY LINE IN ANY CASE.

SITE SURFACING STAKEOUT

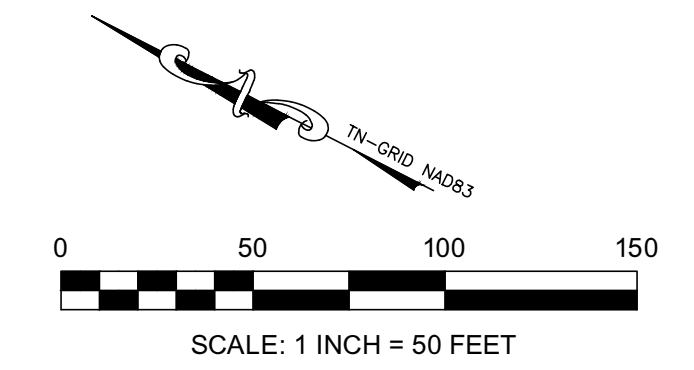
SITE DIMENSIONS SHOWN ON-SITE PLAN ARE NOMINAL DIMENSIONS ONLY INTENDED FOR USE IN DETERMINE APPROXIMATE SITE LOCATIONS. ALL SITE CONSTRUCTION LAYOUT SHALL BE VERIFIED PRIOR TO CONSTRUCTION. A SURVEYOR LICENSED IN THE STATE OF THE PROJECT LOCATION MUST BE USED IN LOCATING ALL SITE RELATED FEATURES BEFORE WORK IS BEGUN ON SITE CONSTRUCTION FOR A GIVEN TRADE. ADS SHALL BE NOTIFIED BY THE SURVEYOR UPON COMPLETION OF THIS WORK.

FOUNDATION AS-BUILT

A 'FOUNDATION LOCATION PLAN' MUST BE PREPARED BY THAT SURVEYOR AND SUBMITTED FOR ADS'S REVIEW AS SOON AS ALL FOUNDATION WORK IS UP TO FLOOR LEVEL.

SITE WORK LAYOUT

CONSULT ADS FOR ALL DIMENSIONS AND OTHER ITEMS LABELED 'VERIFY' OR 'FIELD VERIFY' PRIOR TO INSTALLATION OF THAT WORK OR ANY RELATED WORK.



WASHINGTON PIKE MINI STORAGE

WASHINGTON PIKE - KNOXVILLE, TN 37918

8-C-23-SU
6/26/2023

MARK	DATE	ISSUE FOR:
1	12/15/18	Review Set
2	5/13/19	RESUBMITTAL (NO CHANGE)
3	8/27/19	REMOVED PAVERS

DRAWN:

CITY OF KNOXVILLE
DEPARTMENT OF ENGINEERING
APPROVED
Adam Kohnstopp
09/13/19



SITE LAYOUT PLAN

APPROVED
CITY OF KNOXVILLE
Planning & Inspections Division
C4

PROJECT: 18125
© COPYRIGHT 2019
These plans were not reviewed for compliance with the Americans with Disabilities Act or the Fair Housing Act (U.S.S. 360407).

- SITE KEYED NOTES**
- 1 LIGHT ASPHALT, SEE DETAIL 1/CX.X
 - 2 HEAVY DUTY ASPHALT, SEE DETAIL 2/CX.X
 - 3 EXTRUDED CONCRETE CURB, SEE DETAIL 3/CX.X
 - 4 4" WIDE PAINTED WHITE STRIPE
 - 5 CHAIN LINK FENCE, MATCH EXISTING
 - 6 LAWN
 - 7 LANDSCAPE BUFFER, SEE SHEET LS
 - 8

GENERAL NOTES

ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.

THIS SITE IS A PRIORITY CONSTRUCTION ACTIVITY

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY, INCLUDING BUT NOT LIMITED TO COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.

CONTRACTOR IS TO COORDINATE THE SITE WALL PLANS WITH THE SITE/LAYOUT PLAN AND GRADING PLAN. VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE START OF CONSTRUCTION

COORDINATE ALL UTILITY MODIFICATIONS WITH LOCAL UTILITY BOARD.

LOCATE EXISTING WATER LINE AND SANITARY SEWER LINE BEFORE CONSTRUCTION.

PLAN RELOCATION OF EXISTING OVERHEAD UTILITIES AND WATER, SEWER LINES BEFORE EXCAVATION.

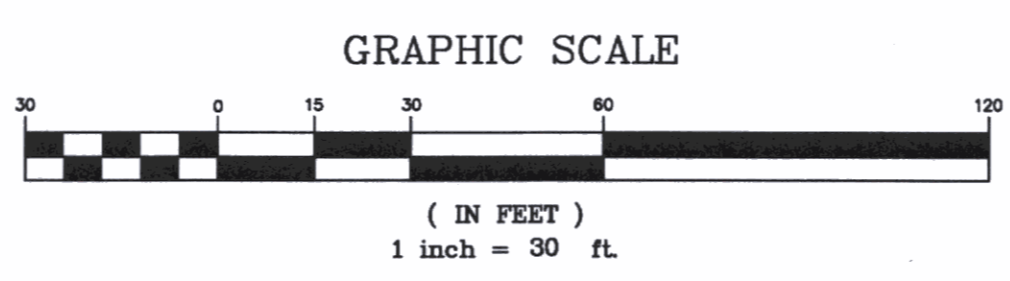
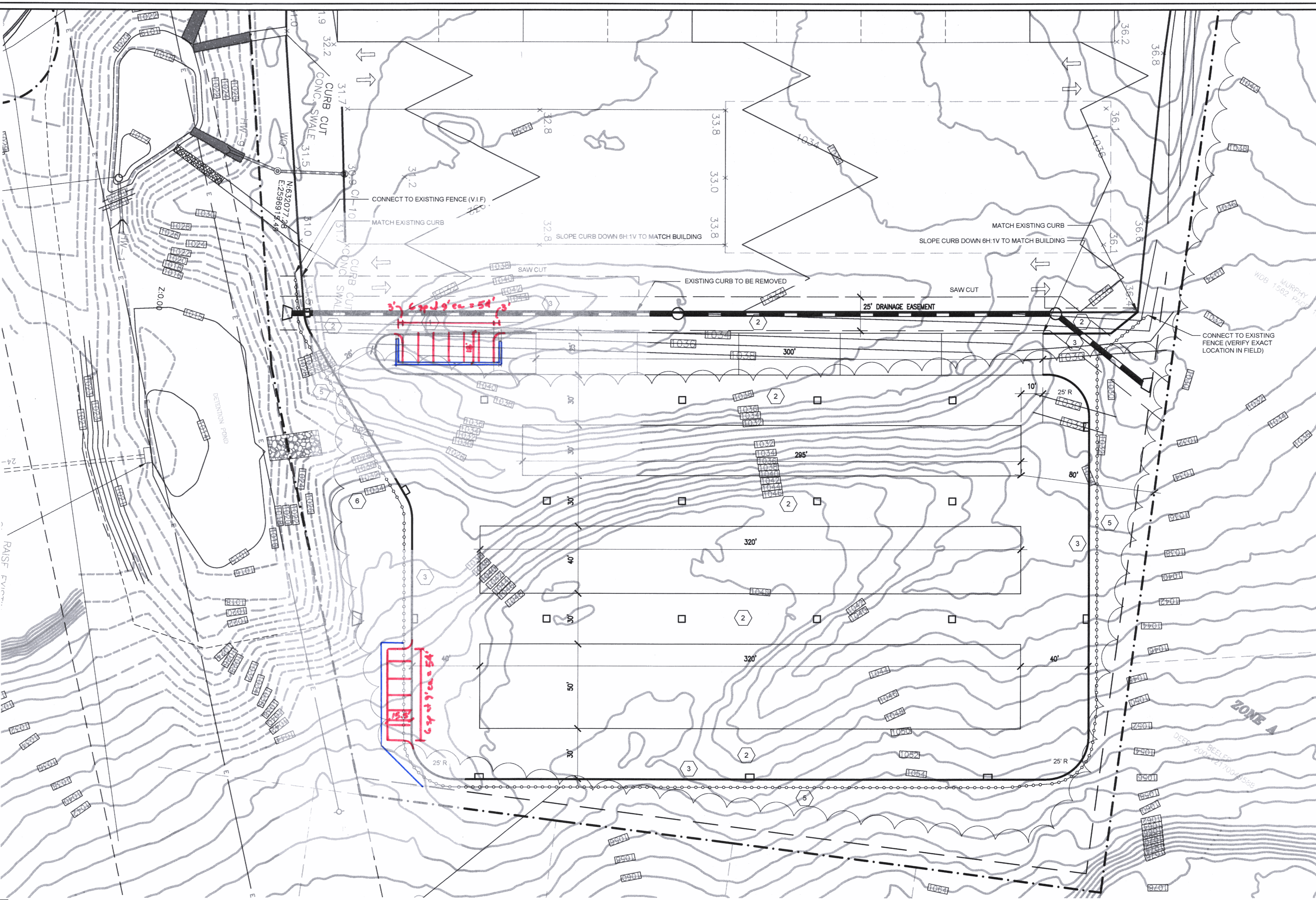
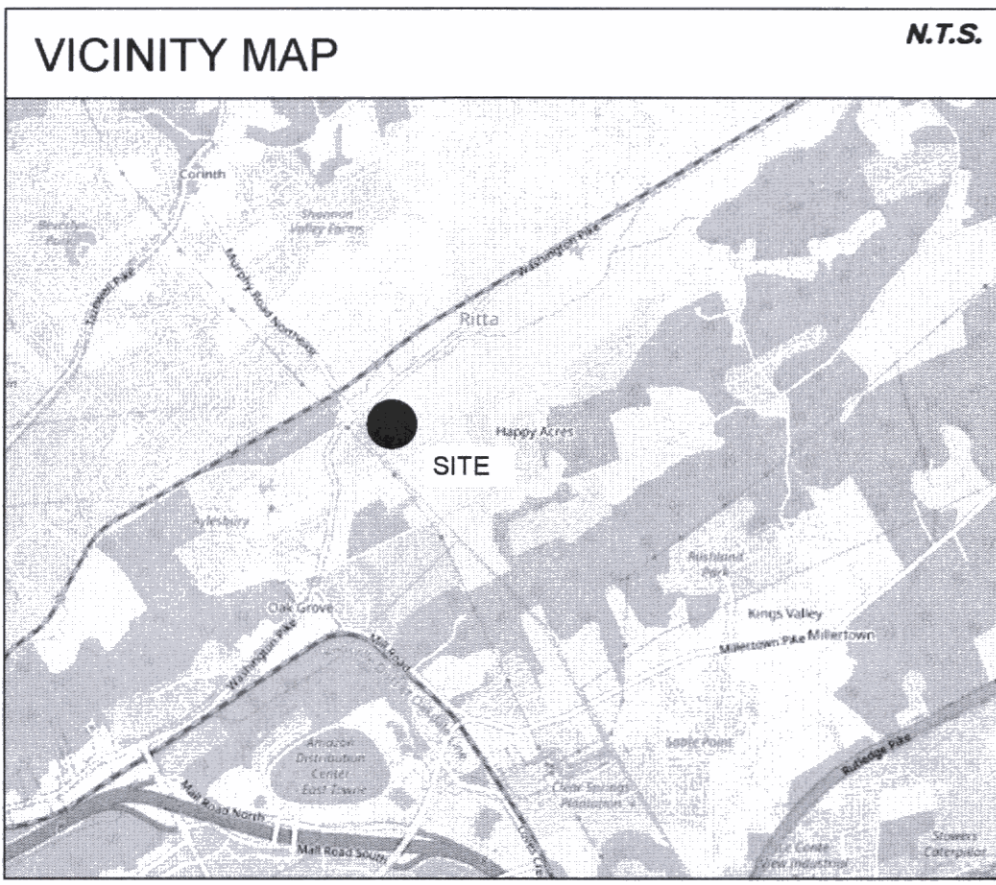
EXISTING CONDITIONS AND PROPERTY LINES BY OTHERS

SURVEY:
 TERRY ROMANS, RLS, PE
 1923 HOPEWELL ROAD
 KNOXVILLE TENNESSEE 37920
 (865) 679-5736

Parcel ID 049 09208
 CLT Map 49
 Ward 33
 City Block 33196
 Total Area 8.41 Ac
 Disturbed Area xx
 Added Impervious xx



Know what's below.
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REVISIONS

NO.	DESCRIPTION	DATE

865 STORAGE
 5852 WASHINGTON PIKE
 KNOXVILLE, TENNESSEE

LAYOUT PLAN

DATE: 2/4/22

C1.0
 SHEET 1 OF 6

PROJ. NO. 21127

MARK V GRAHAM
 ENGINEERING CONSULTANTS, LLC

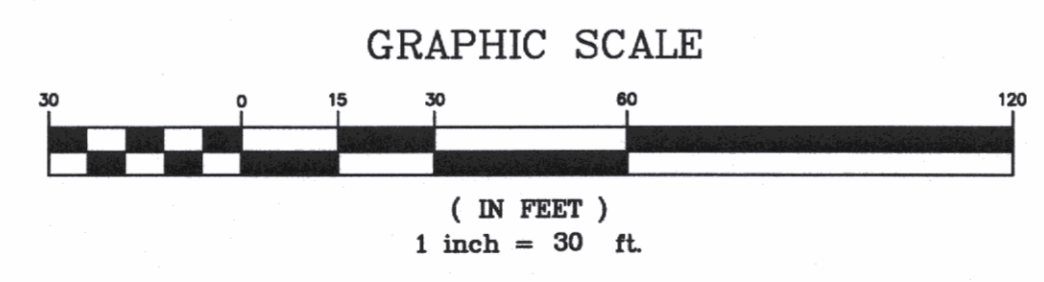
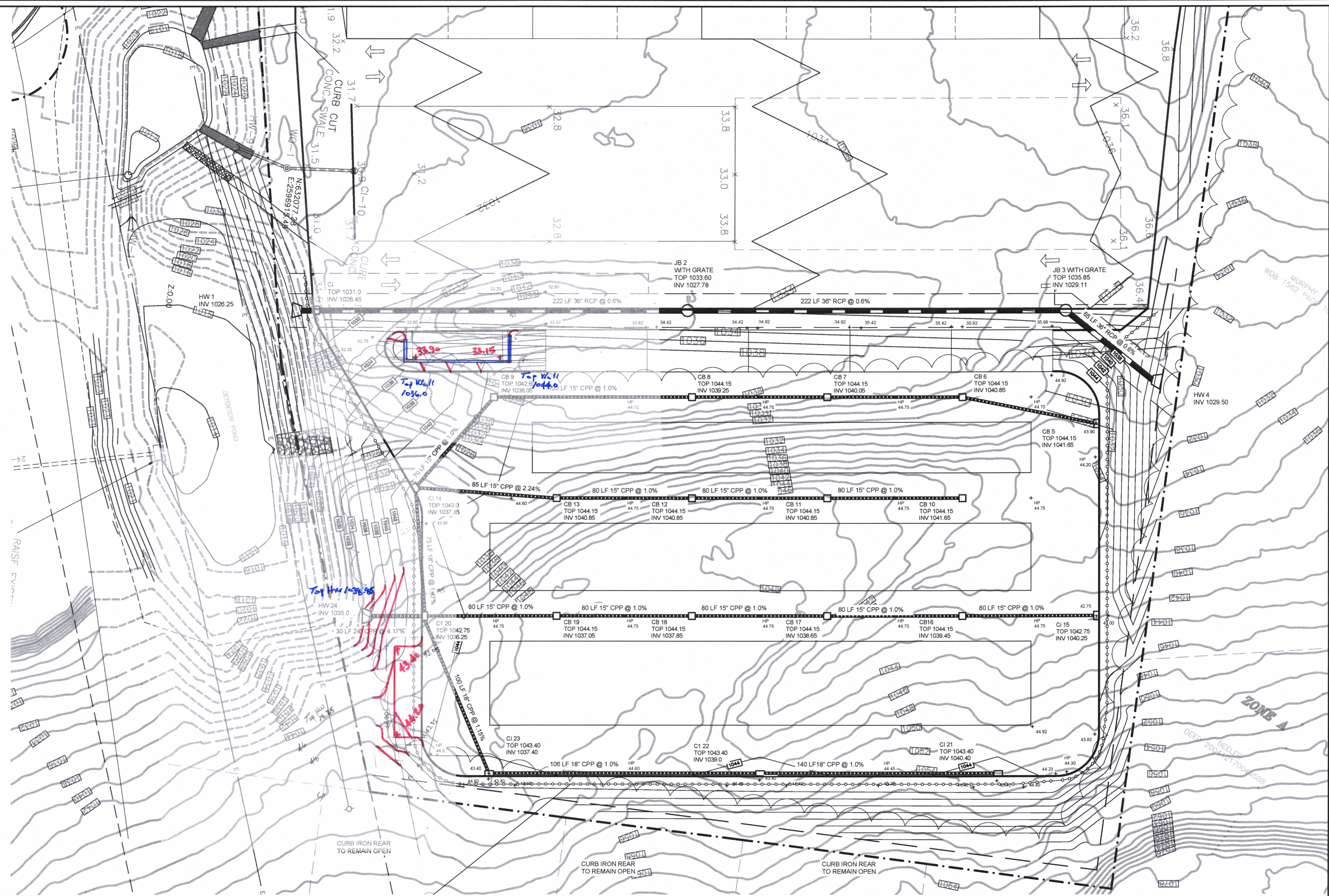
PHONE: 865 712-9210
 markvgraham@gmail.com
 PO BOX 53131
 KNOXVILLE, TN 37950

Figure 6. Additional Parking Layout

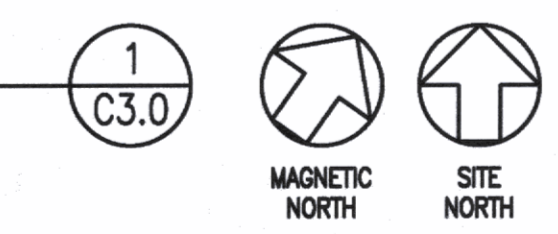
8-C-23-SU
 7/21/23

GRADING & EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE A MINIMUM REQUIREMENT.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, MODIFYING AND ADDING EROSION CONTROL MEASURES DURING CONSTRUCTION TO KEEP SILT FROM EXITING THIS SITE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS AND COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS RELATED TO SITE GRADING AND STORMWATER RUNOFF.
 3. EROSION CONTROL SHALL BE MAINTAINED UNTIL LAWNS HAVE BEEN ESTABLISHED.
 4. AFTER LAWNS HAVE BEEN ESTABLISHED, CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, I.E., SILT FENCE.
 5. CONTRACTOR TO COORDINATE ALL NEW SITE GRADING WITH OWNER'S REP. ENGINEER PRIOR TO CONSTRUCTION IN ORDER TO ENSURE PROPER COHESION WITH OVERALL SITE DRAINAGE PLAN.
 6. ADJUST SWALES AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE EXISTING BUILDING FOUNDATIONS.
 7. SEED AND MULCH DISTURBED AREAS IMMEDIATELY AFTER CONSTRUCTION.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 15 DAYS (7 DAYS FOR SLOPES GREATER THAN 35%) AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS, WHICH SHOW SIGNS OF EXCESSIVE EROSION.
8. SURROUND TOPSOIL STOCKPILE AREA WITH SILT FENCE. SEED AND MULCH STOCKPILE. ADJUST SWALES AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE TOPSOIL STOCKPILE.
 9. CONTRACTOR TO FIELD VERIFY CRITICAL GRADES AT ENTRANCES PRIOR TO CONSTRUCTION.
 10. VERIFY EXACT SIZE DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
 11. CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY, INCLUDING BUT NOT LIMITED TO COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.
 12. NO SLOPES SHALL BE STEEPER THAN 2(H):1(V).
 13. SLOPES STEEPER THAN 3(H):1(V) SHALL HAVE RIP RAP OVER EROSION CONTROL FABRIC.
 14. OUTFALLS AND EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST TWICE WEEKLY AND AT LEAST 72 HOURS APART.
 15. VEGETATION, EROSION CONTROL MEASURES AND OTHER PROTECTIVE MEASURES ARE REPAIRED, REPLACED, OR MODIFIED WITHIN 7 DAYS.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- THIS SITE IS A PRIORITY CONSTRUCTION ACTIVITY



DRAINAGE PLAN
SCALE: 1" = 30'-0"



8-C-23-SU
7/21/23

Figure 7. Additional Parking Grading

MARK V GRAHAM
ENGINEERING CONSULTANTS, LLC

PHONE: 865 712-9210
MarkVGraham@gmail.com
PO BOX 53131
KNOXVILLE, TN 37550

NO.	DESCRIPTION	DATE

Man/Power Gals

865 STORAGE
5852 WASHINGTON PIKE
KNOXVILLE, TENNESSEE

DRAINAGE PLAN

DATE: 2/4/22

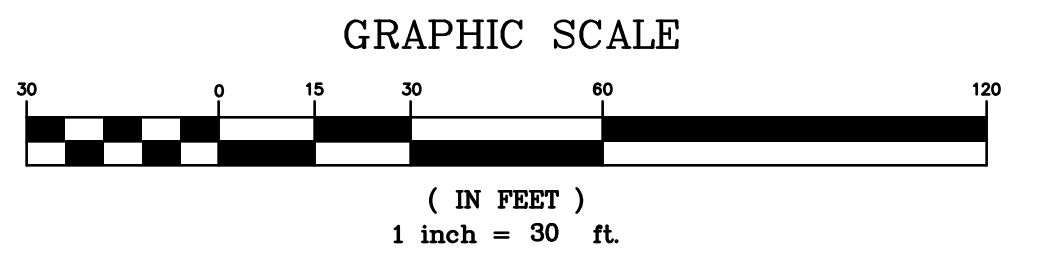
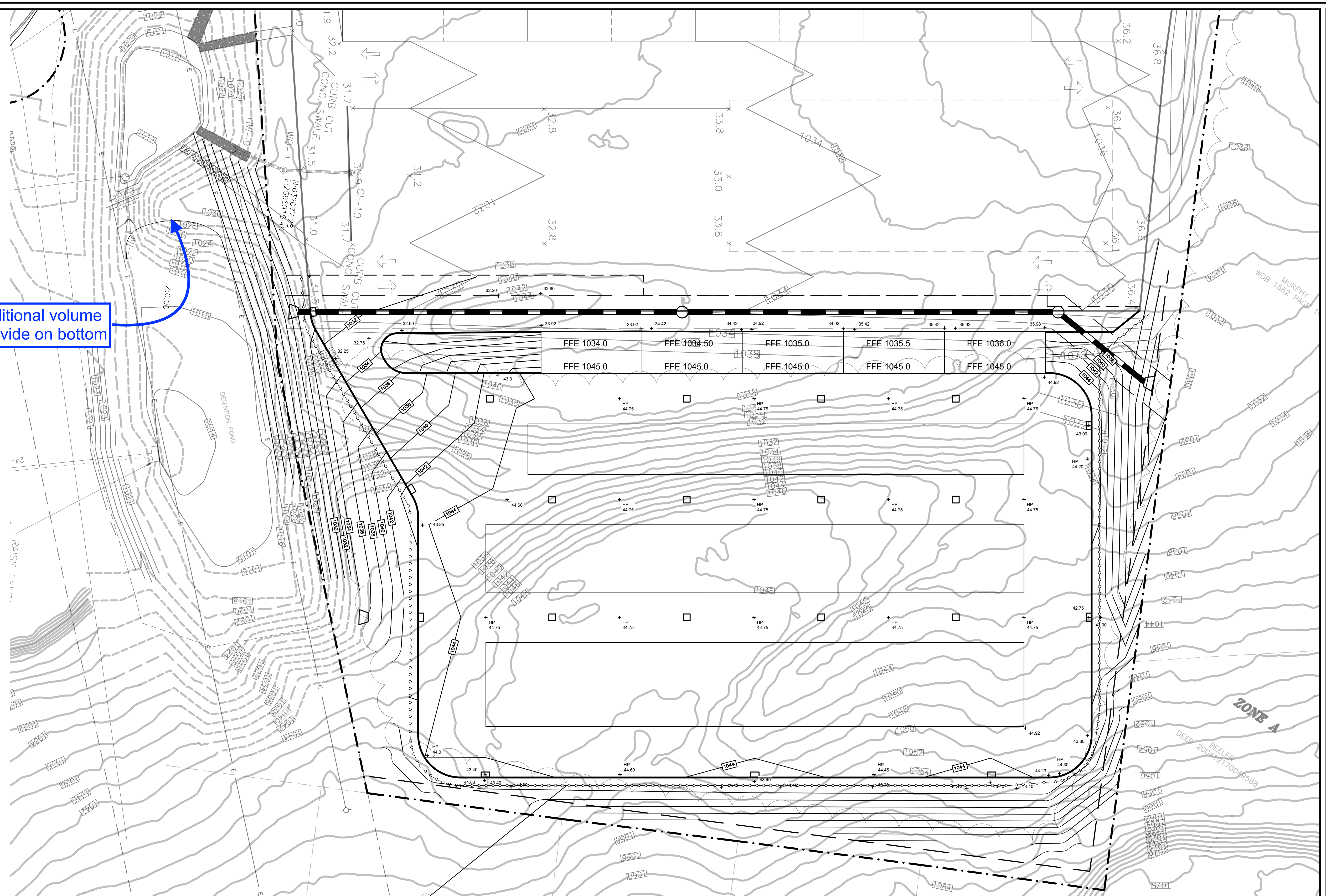
C3.0
SHEET 1 OF 6

PROJ. NO. 21127

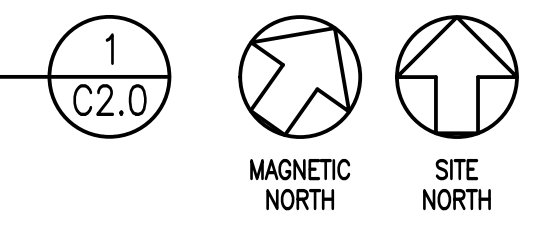
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- THIS SITE IS A PRIORITY CONSTRUCTION ACTIVITY

Remove berm for additional volume
First Flush volume provide on bottom



GRADING PLAN
SCALE: 1" = 30'-0"



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8-C-23-SU
7/21/23

FIGURE 4. GRADING PLAN

MARK V GRAHAM
ENGINEERING CONSULTANTS, LLC

PHONE: 865.719.9210
MarkV.Graham@gmail.com
PO BOX 63131
KNOXVILLE, TN 37950

NO.	DESCRIPTION	DATE

--

865 STORAGE
5852 WASHINGTON PIKE
KNOXVILLE, TENNESSEE

GRADING PLAN

DATE: 2/4/22

C2.0

SHEET 2 OF 6

PROJ. NO. 21127



Issue / Revision:

No.	Date	Description
0	7/21/2023	Review Comments

Project No.: 23165

Drawn By: CWR

Eng Check / Dept Check / QA Check

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Project Title:
865 STORAGE

Location:
5852 Washington Pike
Knoxville,
Tennessee

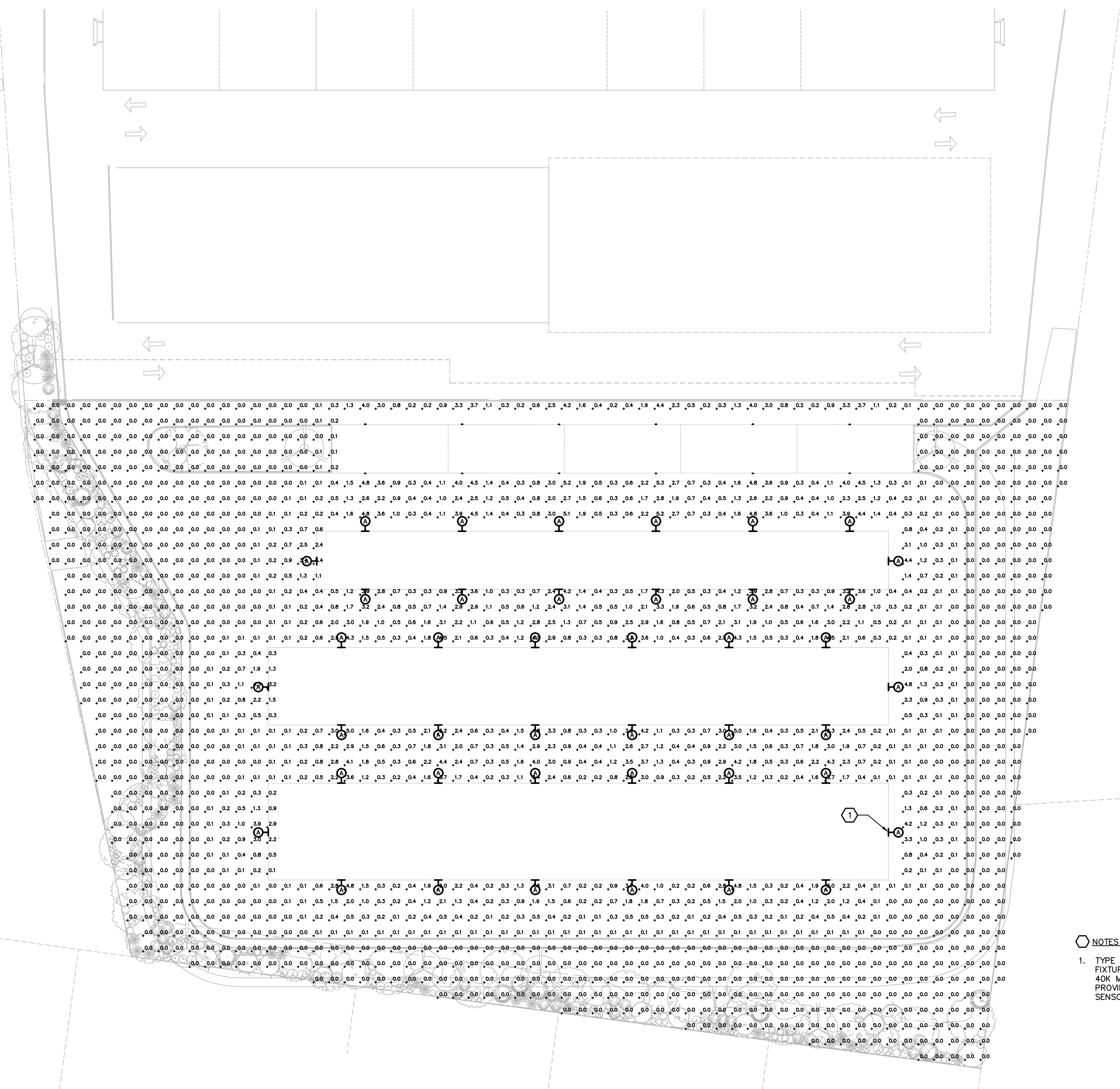
Sheet Contents:
**SITE PLAN
PHOTOMETRICS**

Date:
21 July, 2023

Sheet Number:

E1.0

Hodge Engineering - July 19, 2023 - 4:06pm
H:\2023 Projects\23165 - Mark Graham - 865 Storage\Working Drawings\Electrical\23165 - Electrical.dwg [E1.0] wrldgel



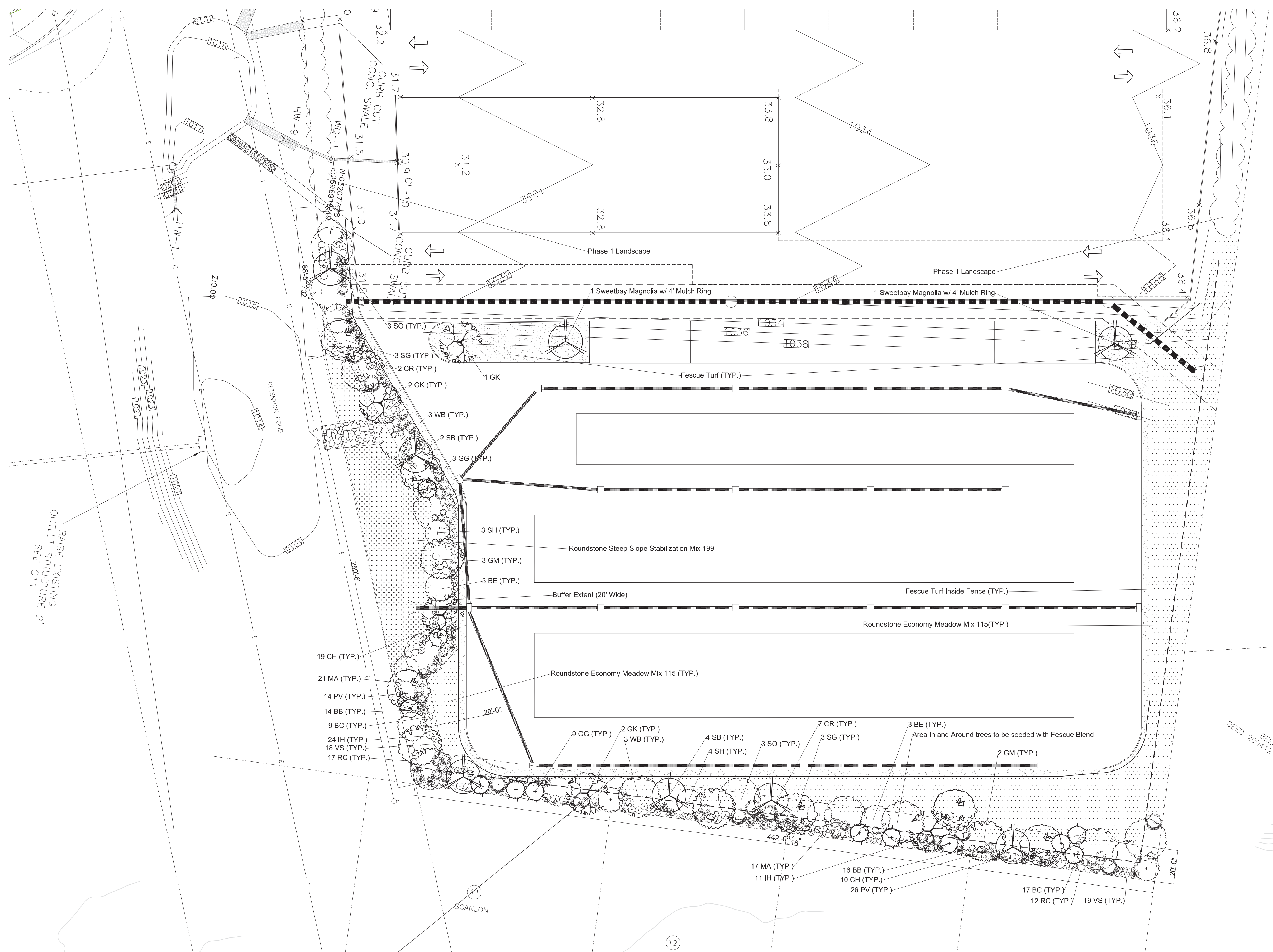
1 SITE PLAN - PHOTOMETRICS
E1.0 SCALE: 1"=30'-0"
0 15 30 60
1 in. = 30 ft.

GENERAL NOTES:
A. VALUES SHOWN ARE IN FOOTCANDLES.
B. ALL FIXTURES ARE LED.

- NOTES BY SYMBOL:**
- TYPE "A" FIXTURES TO BE WALL MOUNTED AT 10' MAX. FIXTURE TO BE LITHONIA MODEL NUMBER ARC1 LED P1 40K MVOLT PE OR APPROVED EQUAL. FIXTURE TO BE PROVIDED WITH INTEGRAL PHOTOCELL AND MOTION SENSOR FOR INDIVIDUAL CONTROL.

8-C-23-SU
7/21/23

FIGURE 2. SITE PLAN PHOTOMETRIC

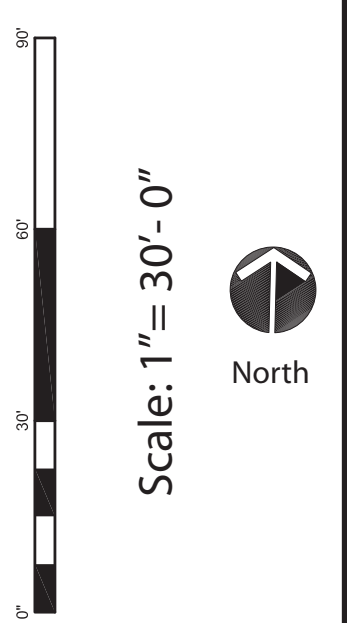


- Plant Legend**
- Trees**
- Sweetoak
 - Shumard Oak
 - Wildfire Blackgum
 - Ginkgo
 - Green Mountain Sugar Maple
 - Sweetbait Magnolia
 - Pinkie Eastern Red Cedar
 - Sugar Hill American Holly
 - Green Giant Arborvitae
 - Redicane Japanese Cryptomeria
- Shrubs**
- Button Bush
 - Pracuse Viburnum
 - Black Chokeberry
 - Rose Creek Abelia
 - Inkberry Holly
 - Mount Airy Fothergilla
 - Carolina Holly
 - Little Henry Virginia Sweetpepper
- Seed Mixes**
- Fescue Seed
 - Roundstone Mix 199 Sleep Slope Stabilization Native Mix
 - Roundstone Mix 115 Sleep Slope Stabilization Native Mix



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Landscape Plan
June 20, 2023



Calculations of Tree Requirement Based on Property Size:
Entire Property Size: 8.41 Acres
Phase II Property Size: ~3.56 Acres
Requirement: 8 Trees per Acre with half Maturing at 50' in height, 8 x 3.56 Acres= 29 Trees
Total Number of Trees To Be Added: 70
35 specified to be 50' in Height at Maturity (50%)
Existing Trees to Be Retained= N/A

Calculations for Class B Buffer
Linear Dimension: 790'
Required Shrubs: 264 (1 Shrub for every 3 LF-50 % Evergreen)
Required Evergreen Trees: 40 (1 Evergreen Tree for every 20 LF)
Required Shade Trees: 27 (1 Shade Tree for every 30 LF)
Note:
It is intended to submit an Alternate Landscape Design Application **IF needed**, to address the less than 20' buffer width in the South-west Corner of the property.

8-C-23-SU
6/26/2023

City Block: 33196
Parcel ID: 04909208

865 Storage
5852 Washington Pike
Knoxville, TN 37918

LP1.01
(Sheet 1 of 3)



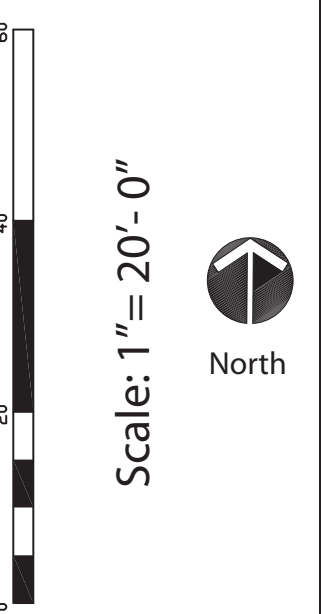
Chandler Design & Planning, LLC
 1337 Willow Grove Drive
 Knoxville, TN 37932
 Phone #: (423)-416-1869



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Landscape Plan

June 20, 2023



865 Storage
 5852 Washington Pike
 Knoxville, TN 37918

LP1.02
 (Sheet 2 of 3)

Plant Legend

Trees

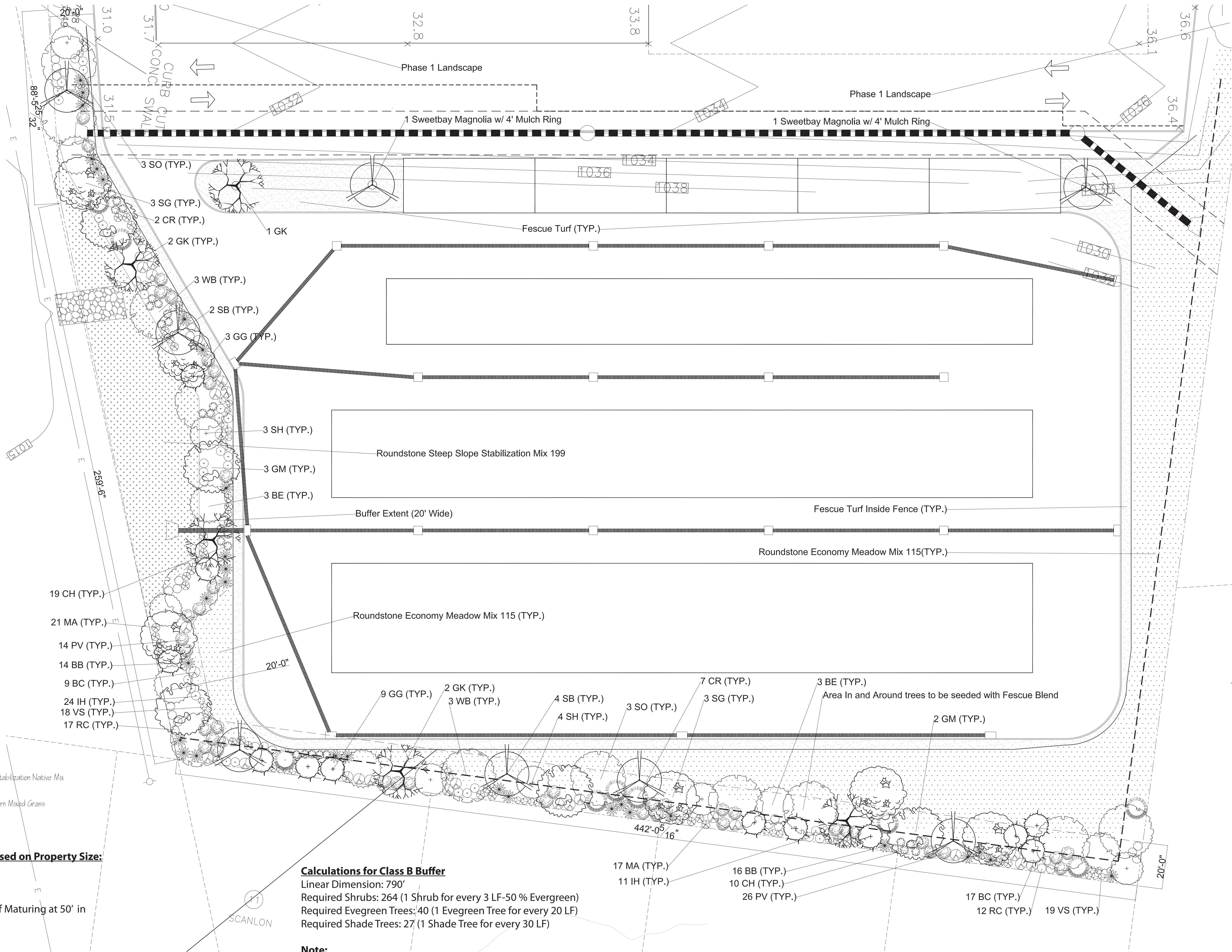
- Sweetbay
- Shumard Oak
- Wildfire Blackgum
- Cinkgo
- Green Mountain Sugar Maple
- Sweetbay Magnolia
- Burkii Eastern Red Cedar
- Satur Hill American Holly
- Green Giant Arborvitae
- Radicans Japanese Cryptomeria

Shrubs

- Button Bush
- Praque Viburnum
- Black Chokeberry
- Rose Creek Abelia
- Inkberry Holly
- Mount Airy Fothergilla
- Carissa Holly
- Little Henry Virginia Sweetspire

Seed Mixes

- Fescue Seed
- Roundstone Mix 199 Steep Slope Stabilization Native Mix
- Roundstone Mix 115 Economy Southern Mixed Grass Meadow Mix



Calculations of Tree Requirement Based on Property Size:
 Entire Property Size: 8.41 Acres
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8-C-23-SU
 6/26/2023

City Block: 33196
 Parcel ID: 04909208

LANDSCAPE INSTALLATION SPECIFICATIONS:

SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED MATERIAL IS NOT OBTAINABLE, CONTACT LANDSCAPE ARCHITECT TO DISCUSS EQUIVALENT SUBSTITUTIONS, OR REFER TO THE KNOX COUNTY TREE LIST.

PLANT QUALITY: PROVIDE TREES, SHRUBS, AND OTHER PLANTS OF QUANTITY SIZE, GENUS, SPECIES AND VARIETY LISTED. CONTRACTOR WILL BE EXPECTED TO PROVIDE PLANTS WHICH CAN BE CONSIDERED TO HAVE A QUALITY WHICH IS HIGHER THAN MINIMUM ACCEPTABLE.

TOPSOIL: TOPSOIL SHALL BE NATURAL, FERTILE, AGRICULTURAL SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. SOIL SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS AND OTHER EXTRANEIOUS MATTER. IT SHALL HAVE A PH RANGE OF 5.0 TO 7.0, AND CONTAIN NOT LESS THAN 5% ORGANIC MATTER. THE SOIL SHALL NOT BE CONTAMINATED WITH SUBSTANCES HARMFUL TO HUMANS OR THE GROWTH OF PLANTS.

BACKFILL: BACKFILL SHALL CONSIST OF EXISTING SOIL FROM THE HOLE PLUS TOPSOIL PLUS APPROVED ORGANIC MATTER IN THE RATIO OF 3:2:1 RESPECTIVELY. SETTLE SUCH BACKFILL WITH WATER AFTER LAYERING THIS MATERIAL IN THE PLANTING PIT. REMOVE ALL NON-BIODEGRADABLE BURLAP AND CUT ALL STRINGS SURROUNDING TRUNK. HOLES MAY BE HAND DUG OR EXCAVATED W/ APPROPRIATELY SIZED AUGER WHERE ACCESSIBLE. PLANTING HOLES SHALL BE AMENDED AS NECESSARY.

BED PREPARATION: THE SOIL FOR PLANTING BEDS FOR SHRUBS, PERENNIALS, AND GROUNDCOVERS SHALL CONSIST OF A MINIMUM OF 4 INCHES OF TOPSOIL. BEDS SHALL BE EVENLY TILLED, RAKED TO A LEVEL GRADE AND THEN PLANTED PRIOR TO MULCHING.

CONDITIONS: THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ADVERSE SOIL DRAINAGE CONDITIONS OR OTHER SITUATIONS UNFAVORABLE FOR LANDSCAPE INSTALLATION.

TURF AREAS: AREAS DESIGNATED SEED ARE TO BE SEEDED WITH A FESCUE BLEND APPROPRIATE FOR THE REGION. ALL SEED AREAS SHALL BE HARLEY RAKED AND CLEAN OF ROCKS, CLUMPS, AND LARGE DEBRIS PRIOR TO PLANTING.

STAKING/GUYING: TREES ARE NOT TO BE STAKED OR GUYED. RATHER, SOIL SHALL BE ADEQUATELY FIRMED INTO PLACE AS THESE PLANTS ARE INSTALLED TO REMOVE AIR POCKETS AND TO KEEP PLANTS FROM SHIFTING.

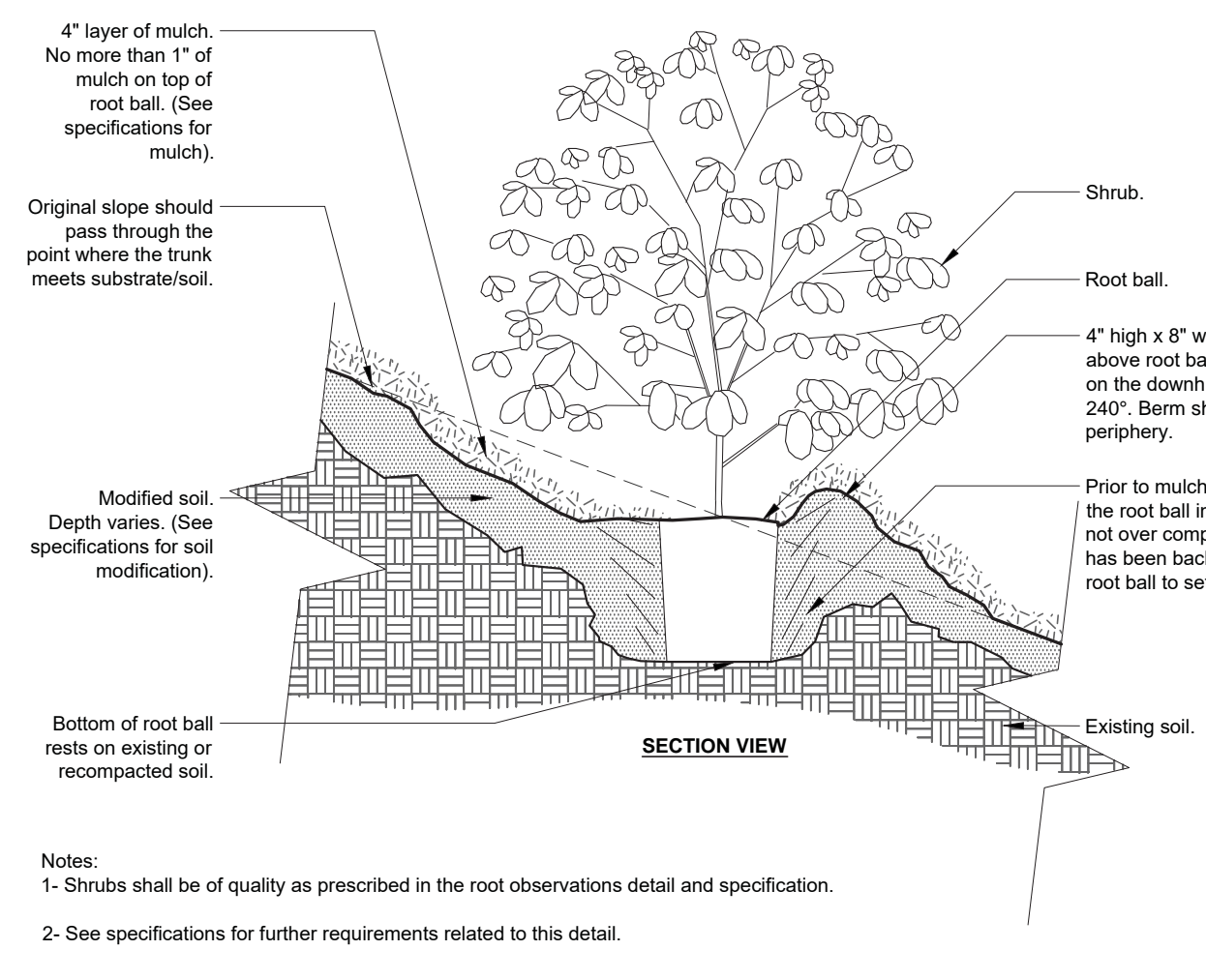
MULCH: MULCHES SHALL BE SHREDDED HARDWOOD BARK AT A DEPTH OF 3" OR PINE STRAW AT A DEPTH OF 4" UNLESS OTHERWISE SPECIFIED. MULCHES SHALL BE FREE FROM MATURED SEED, NOXIOUS WEEDS, HARMFUL INSECTS, OR ANY SPECIES OR CHEMICALS DETRIMENTAL TO HUMANS AND THE DEVELOPMENT OF PLANTS. ALL TREES LOCATED IN ISLANDS AND TURF AREAS SHALL BE INSTALLED WITH A 4' DIAMETER MULCH RING.

TREE MULCH RINGS: ALL TREES SURROUNDED BY TURF SHALL HAVE A 3-4' DIAMETER MULCH RING AS SHOWN ON THE PLAN

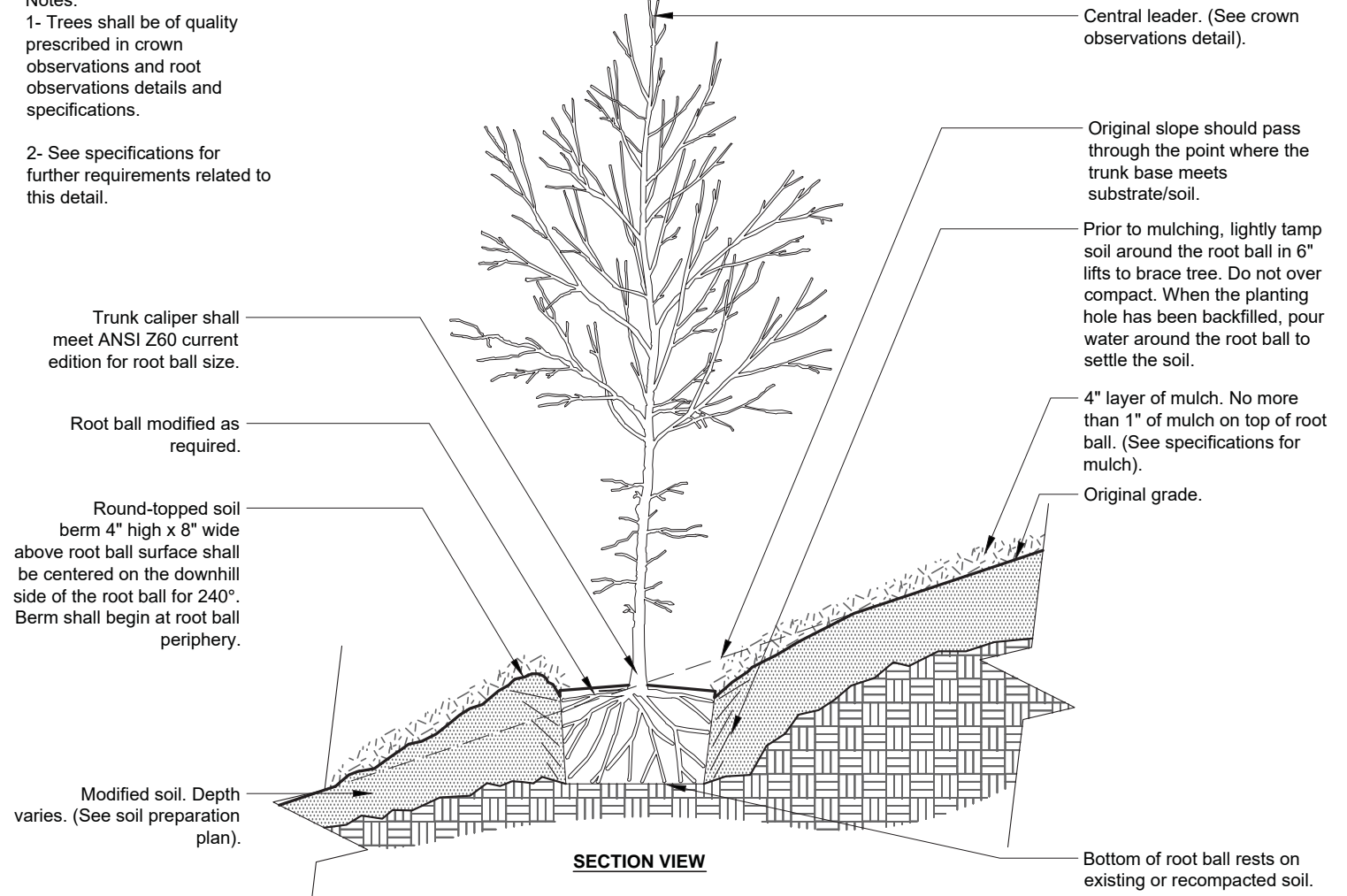
CLEAN-UP: DURING PLANTING, EXCESS AND WASTE SHALL BE PROMPTLY AND CONTINUOUSLY REMOVED. LAWN AREAS AND PAVED SURFACES KEPT CLEAR AND ALL REASONABLE PRECAUTIONS SHALL BE MADE TO AVOID DAMAGE TO EXISTING STRUCTURES, PLANTS AND GRASS. WALKS AND PAVED AREAS SHALL BE HOSED DOWN AND CLEANED TO APPEAR AS THEY HAD PRIOR TO BEGINNING OF WORK.

Plant List					
Symbol	Quantity	Common Name	Scientific Name	Size	Remarks
Trees					
SB	8	Moonglow Sweetbay Magnolia	Magnolia virginiana 'Jim Wilson'	8Ft tall	B&B or 15 Gallon
BE	6	Burkii Eastern Red Cedar	Juniperus virginiana 'Burkii'	8Ft tall	B&B
SH	7	Saty Hill American Holly	Ilex opaca 'Satyr Hill'	8Ft tall	B&B
GG	12	Green Giant Arborvitae	Thuja occidentalis 'Green Giant'	8Ft tall	15 or 25 Gallon
CR	9	Radicans Japanese Cryptomeria	Cryptomeria japonica 'Radicans'	8Ft tall	B&B
SG	6	Sweetgum	Liquidambar styraciflua	2in Cal.	B&B, 8-10FT tall
SO	6	Shumard Oak	Quercus shumardii	2in Cal.	B&B, 8-10FT tall
WB	6	Wildfire Blackgum	Nyssa sylvatica 'Wildfire'	2in Cal.	B&B, 8-10FT tall
GM	5	Green Mountain Sugar Maple	Acer saccharum 'Green Mountain'	2in Cal.	B&B, 8-10FT tall
GK	5	Ginkgo	Ginkgo biloba (Male)	2in Cal.	B&B, 8-10FT tall
Shrubs					
RC	29	Rose Creek Abelia (Evergreen)	Abelia x 'Rose Creek'	18-24in Spr.	3 Gallon
IH	35	Compacta Inkberry Holly (Evergreen)	Ilex glabra 'Compacta'	18-24in Spr.	3 Gallon
CH	29	Carissa Holly (Evergreen)	Ilex comuta 'Carissa'	18-24in Spr.	3 Gallon
MA	38	Mount Airy Fothergilla	Fothergilla gardenii 'Mount Airy'	18-24in Spr.	3 Gallon
BB	30	Button Bush	Cephalanthus occidentalis	18-24in Spr.	3 Gallon
PV	40	Prague Viburnum (Evergreen)	Viburnum x pragnense	18-24in Spr.	3 Gallon
BC	26	Black Chokeberry	Aronia melanocarpa	18-24in Spr.	3 Gallon
VS	37	Little Henry Virginia Sweetspire	Itea virginica 'Sprich'	18-24in Spr.	3 Gallon
Seed Mixes					
Labeled	~6,890SF	Turf Seed	Fescue Blend Appropriate for Region Applied at Recommended Rate		
Labeled	~5,105SF	Steep Slope Stabilization Native Mix	Roundstone Seed Mix 199		Follow Manufacture Specs
Labeled	~17,374SF	Economy Southern Mixed Grass Meadow Mix	Roundstone Seed Mix 115		Follow Manufacture Specs

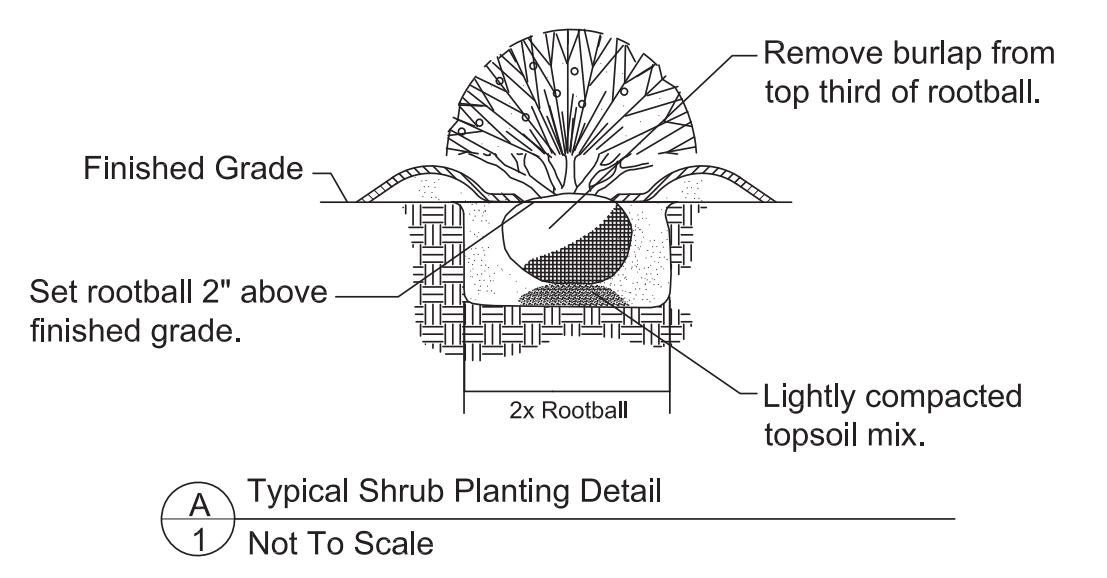
**Always refer to plan for accurate quantities



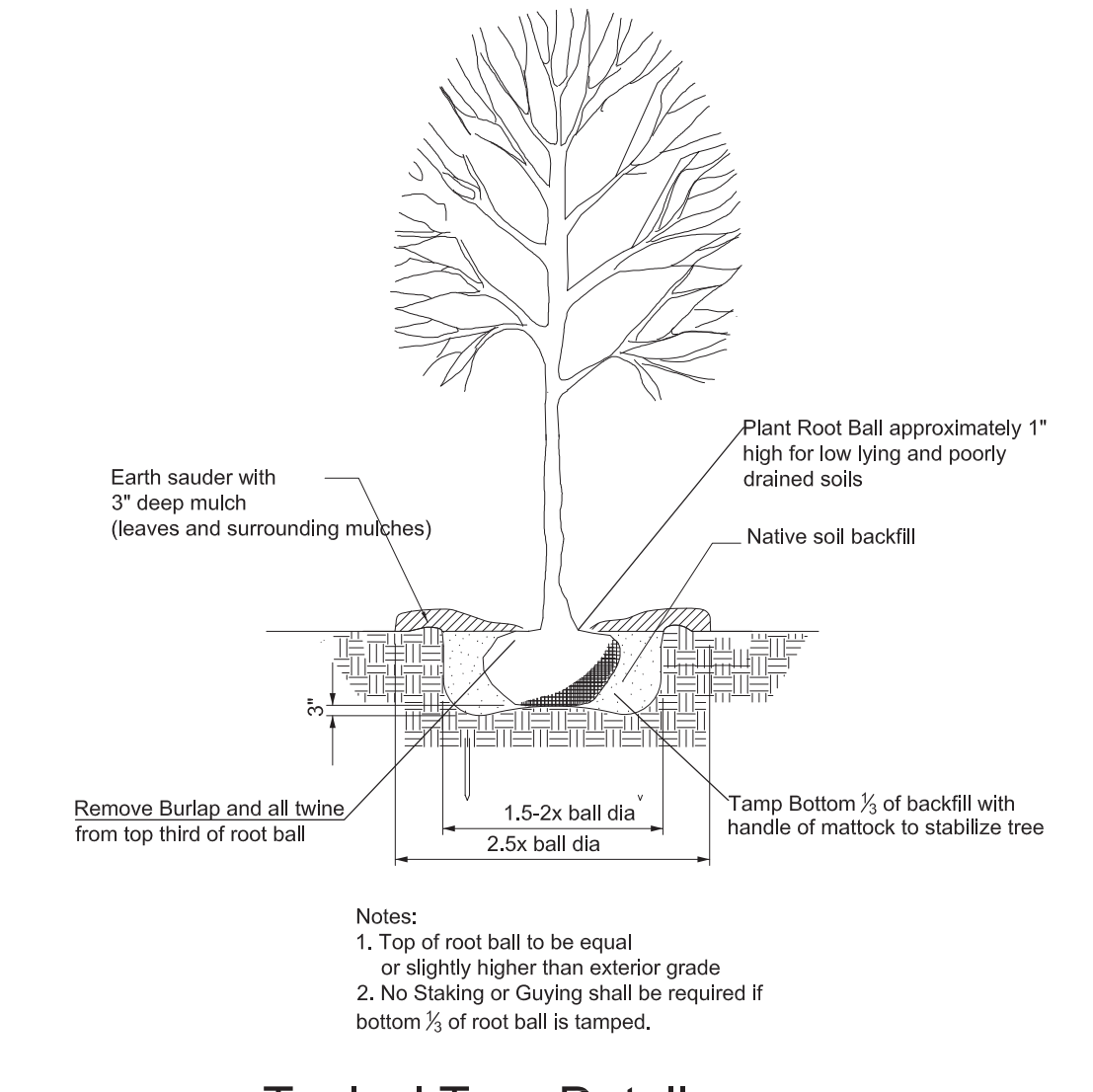
P-X SHRUB ON SLOPE 5% (20:1) TO 50% (2:1) - MODIFIED SOIL



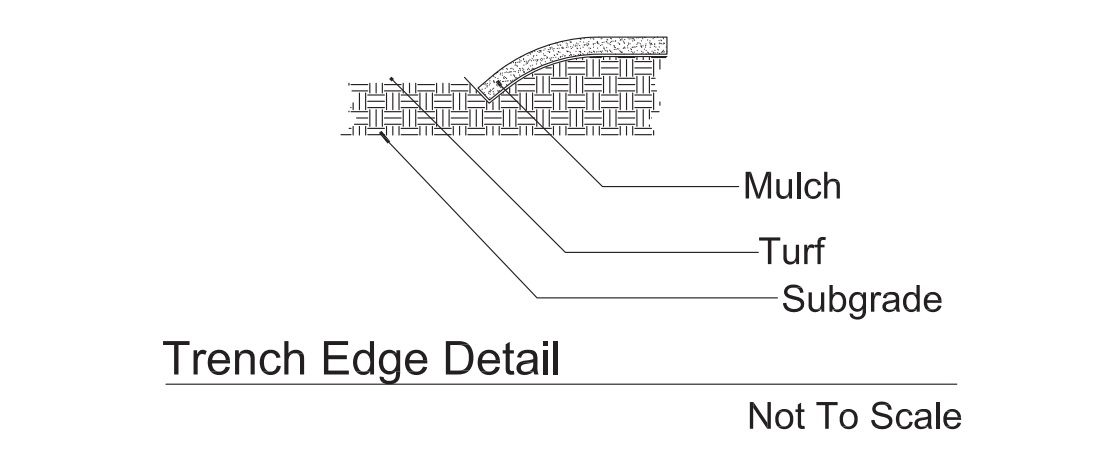
P-X TREE ON SLOPE 5% (20:1) TO 50% (2:1) (EXISTING SOIL MODIFIED)






















A 1 Typical Shrub Planting Detail Not To Scale



LP 2 Typical Tree Detail NTS



Trench Edge Detail Not To Scale

<p>Deciduous Trees</p> <p>Wildfire Blackgum <i>Nyssa sylvatica 'Wildfire'</i></p>  <p>Height: 30 to 50 feet, Spread: 20 to 30 feet</p>	<p>Sweet gum <i>Liquidambar styraciflua</i></p>  <p>Height: 60 to 80 feet, Spread: 40 to 60 feet</p>	<p>Autumn Gold Maidenhair Tree <i>Ginkgo biloba 'Autumn Gold'</i></p>  <p>Height: 35 to 50 feet, Spread: 35 to 50 feet</p>	<p>Japanese Cryptomeria <i>Cryptomeria japonica 'Radicans'</i></p>  <p>Height: 20 to 30 feet, Spread: 7 to 10 feet</p>	<p>Saty Hill American Holly <i>Ilex opaca 'Satyr Hill'</i></p>  <p>Height: 30-40 feet, Spread: 15-25 feet</p>	<p>Evergreen Shrubs</p> <p>Inkberry Holly <i>Ilex glabra 'Compacta'</i></p>  <p>Height: 3 to 6 feet, Spread: 3 to 6 feet</p>	<p>Prague Viburnum <i>Viburnum x pragnense</i></p>  <p>Height: 6-8 feet, Spread: 6-8 feet</p>	<p>Deciduous Shrubs</p> <p>Button Bush <i>Cephalanthus occidentalis</i></p>  <p>Height: 6-8 feet, Spread: 6-8 feet</p>	<p>Mount Airy Fothergilla <i>Fothergilla gardenii 'Mount Airy'</i></p>  <p>Height: 3 to 4 feet, Spread: 3 to 4 feet</p>	<p>Native Seed Mixes</p> <p>Economy Southern Mixed Grass Meadow Mix Roundstone Seed Mix 115</p> 
<p>Shumard Oak <i>Quercus shumardii</i></p>  <p>Height: 40 to 60 feet, Spread: 30 to 40 feet</p>	<p>Green Mountain Sugar Maple <i>Acer saccharum 'Green Mountain'</i></p>  <p>Height: 40 to 50 feet, Spread: 30 to 40 feet</p>	<p>Evergreen Trees</p> <p>Moonglow Sweetbay Magnolia <i>Magnolia virginiana 'Jim Wilson'</i></p>  <p>Height: 12 to 20 feet, Spread: 12 to 20 feet Semi-Evergreen</p>	<p>Green Giant Arborvitae <i>Thuja occidentalis 'Green Giant'</i></p>  <p>Height: 25 to 30 feet, Spread: 10 to 12 feet</p>	<p>Burkii Eastern Red Cedar <i>Juniperus virginiana 'Burkii'</i></p>  <p>Height: 15-25 feet, Spread: 15-20 feet</p>	<p>Carissa Holly <i>Ilex comuta 'Carissa'</i></p>  <p>Height: 3 to 4 feet, Spread: 3 to 4 feet</p>	<p>Rose Creek Abelia <i>Abelia x 'Rose Creek'</i></p>  <p>Height: 2 to 3 feet, Spread: 3 to 4 feet</p>	<p>Little Henry Dwarf Virginia Sweetspire <i>Itea virginica 'Sprich'</i></p>  <p>Height: 2 to 3 feet, Spread: 2 to 3 feet</p>	<p>Black Chokeberry <i>Aronia melanocarpa</i></p>  <p>Height: 3-6 feet, Spread: 3-6 feet</p>	<p>Steep Slope Stabilization Native Mix Roundstone Seed Mix 199</p> 

8-C-23-SU
6/26/2023

Calculations of Tree Requirement Based on Property Size:
Entire Property Size: 8.41 Acres
Phase II Property Size: ~3.56 Acres

Requirement: 8 Trees per Acre with half Maturing at 50' in height, 8 x 3.56 Acres= 29 Trees

Total Number of Trees To Be Added: 70
35 specified to be 50' in Height at Maturity (50%)
Existing Trees to Be Retained= N/A

Calculations for Class B Buffer
Linear Dimension: 790'
Required Shrubs: 264 (1 Shrub for every 3 LF)
Required Evergreen Trees: 40 (1 Evergreen Tree for every 20 LF)
Required Shade Trees: 27 (1 Shade Tree for every 30 LF)



Chandler Design & Planning, LLC
1337 Willow Grove Drive
Knoxville, TN 37932
Phone #: (423)-416-1869



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Landscape Specifications

June 20, 2023

865 Storage

5852 Washington Pike

Knoxville, TN 37918

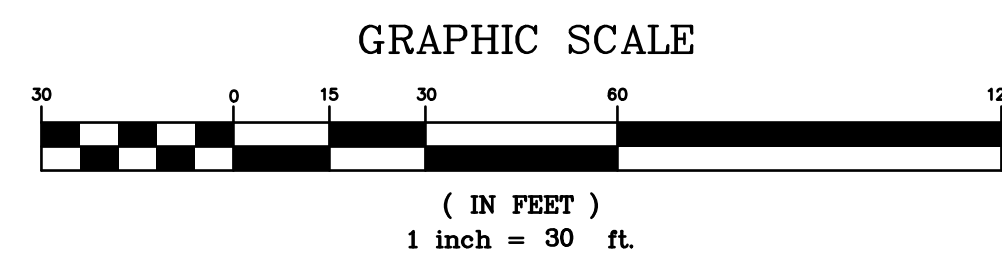
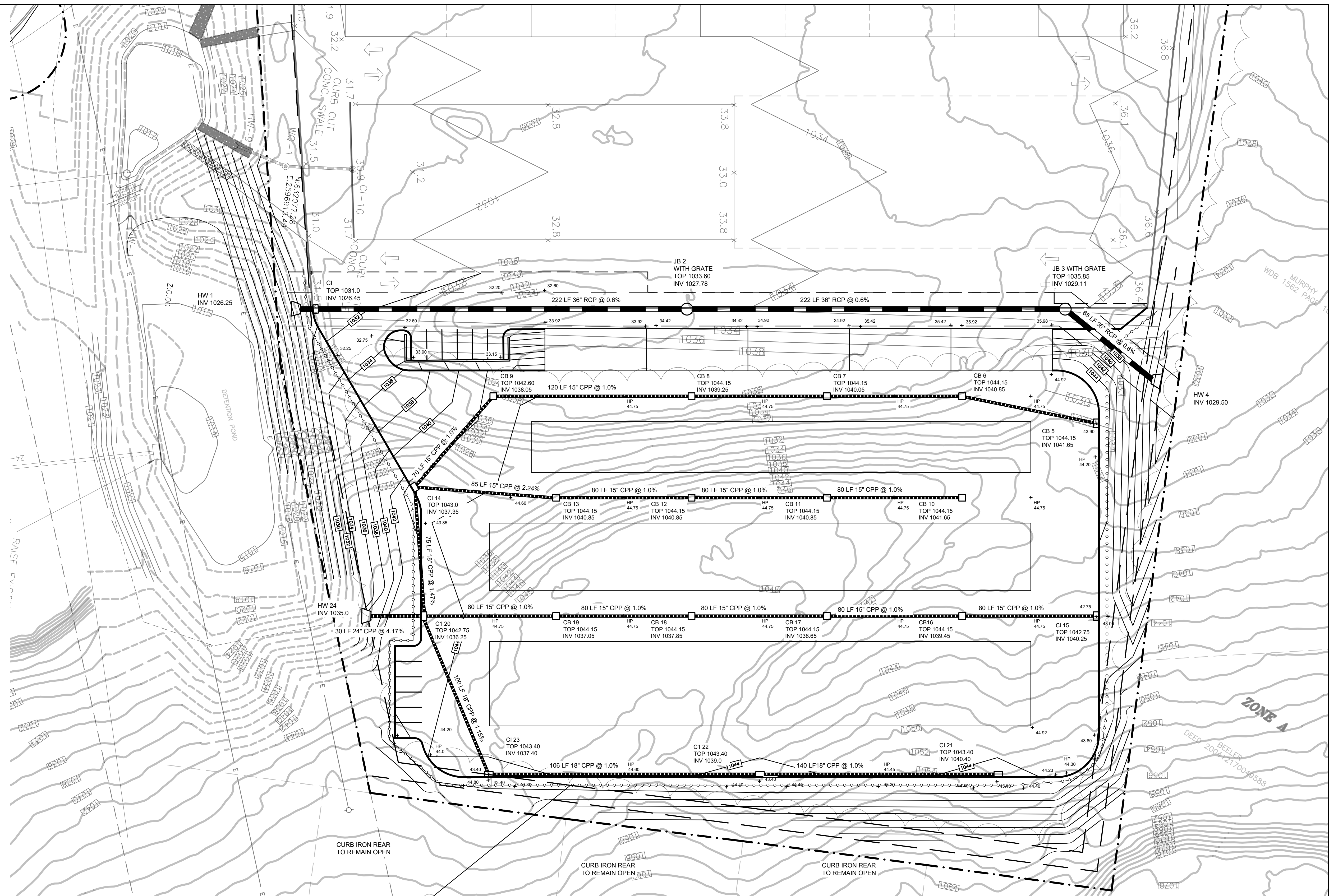
LP1.03
(Sheet 3 of 3)

GRADING & EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES SHOWN ON THIS PLAN ARE A MINIMUM REQUIREMENT.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, MODIFYING AND ADDING EROSION CONTROL MEASURES DURING CONSTRUCTION TO KEEP SILT FROM EXITING THIS SITE. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS AND COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS RELATED TO SITE GRADING AND STORMWATER RUNOFF.
 3. EROSION CONTROL SHALL BE MAINTAINED UNTIL LAWNS HAVE BEEN ESTABLISHED.
 4. AFTER LAWNS HAVE BEEN ESTABLISHED, CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, I.E., SILT FENCE.
 5. CONTRACTOR TO COORDINATE ALL NEW SITE GRADING WITH OWNER'S REP. ENGINEER PRIOR TO CONSTRUCTION IN ORDER TO ENSURE PROPER COHESION WITH OVERALL SITE DRAINAGE PLAN.
 6. ADJUST SWALES AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE EXISTING BUILDING FOUNDATIONS.
 7. SEED AND MULCH DISTURBED AREAS IMMEDIATELY AFTER CONSTRUCTION.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 15 DAYS (7 DAYS FOR SLOPES GREATER THAN 35%) AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS, WHICH SHOW SIGNS OF EXCESSIVE EROSION.
8. SURROUND TOPSOIL STOCKPILE AREA WITH SILT FENCE. SEED AND MULCH STOCKPILE. ADJUST SWALES AS NECESSARY TO MAINTAIN POSITIVE DRAINAGE AWAY FROM THE TOPSOIL STOCKPILE.
 9. CONTRACTOR TO FIELD VERIFY CRITICAL GRADES AT ENTRANCES PRIOR TO CONSTRUCTION.
 10. VERIFY EXACT SIZE DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
 11. CONTRACTOR IS SOLELY RESPONSIBLE FOR JOBSITE SAFETY, INCLUDING BUT NOT LIMITED TO COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.
 12. NO SLOPES SHALL BE STEEPER THAN 2(H):1(V).
 13. SLOPES STEEPER THAN 3(H):1(V) SHALL HAVE RIP RAP OVER EROSION CONTROL FABRIC.
 14. OUTFALLS AND EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST TWICE WEEKLY AND AT LEAST 72 HOURS APART.
 15. VEGETATION, EROSION CONTROL MEASURES AND OTHER PROTECTIVE MEASURES ARE REPAIRED, REPLACED, OR MODIFIED WITHIN 7 DAYS.

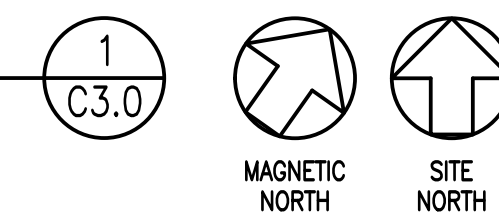
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THIS SITE IS A PRIORITY CONSTRUCTION ACTIVITY



DRAINAGE PLAN

SCALE: 1" = 30'-0"



Know what's below.
Call before you dig.

MARK V GRAHAM
ENGINEERING CONSULTANTS, LLC

PHONE: 865 712-9210
MarkV.Graham@gmail.com

PO BOX 58131
KNOXVILLE, TN 37950

REVISIONS	
NO.	DESCRIPTION

865 STORAGE
5852 WASHINGTON PIKE
KNOXVILLE, TENNESSEE

DRAINAGE PLAN

DATE: 2/4/22

C3.0

SHEET 1 OF 6

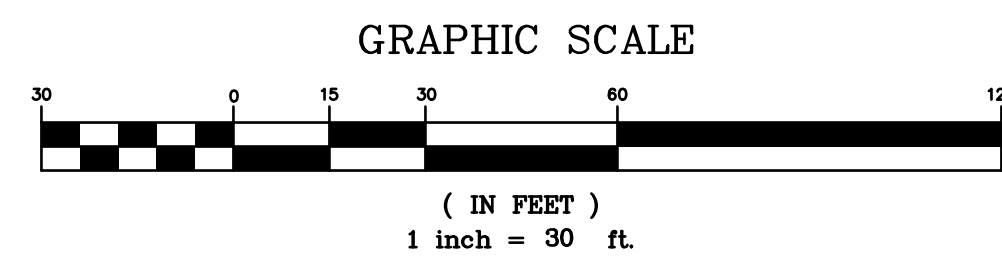
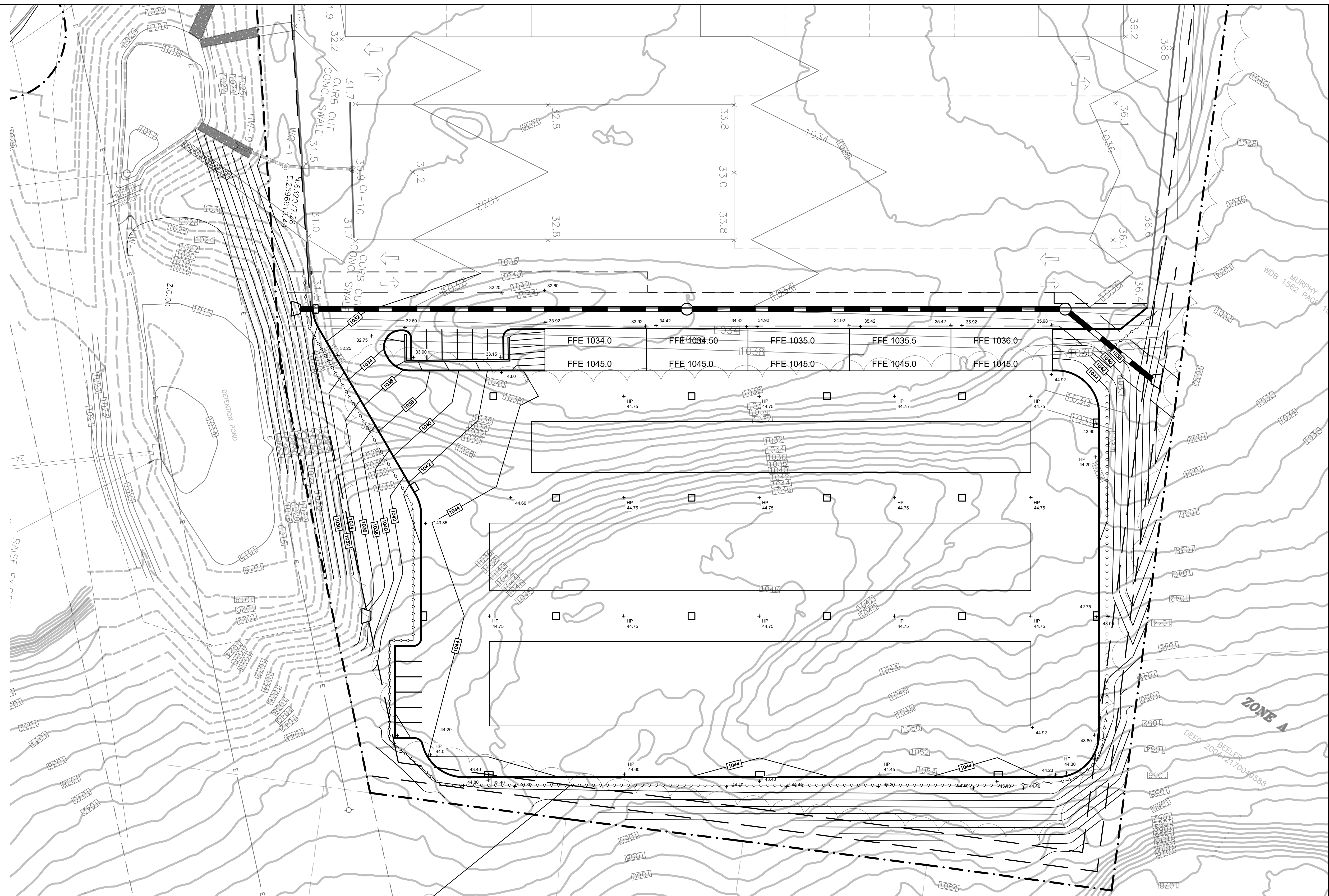
PROJ. NO. 21127

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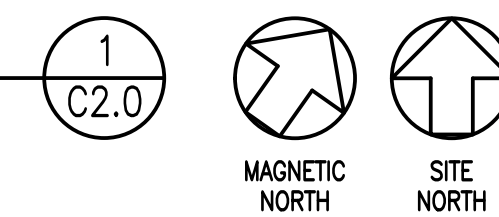
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THIS SITE IS A PRIORITY CONSTRUCTION ACTIVITY



GRADING PLAN

SCALE: 1" = 30'-0"



Know what's below.
Call before you dig.

REVISIONS	
NO.	DESCRIPTION

DATE

865 STORAGE
5852 WASHINGTON PIKE
KNOXVILLE, TENNESSEE

GRADING PLAN

DATE: 2/4/22

C2.0

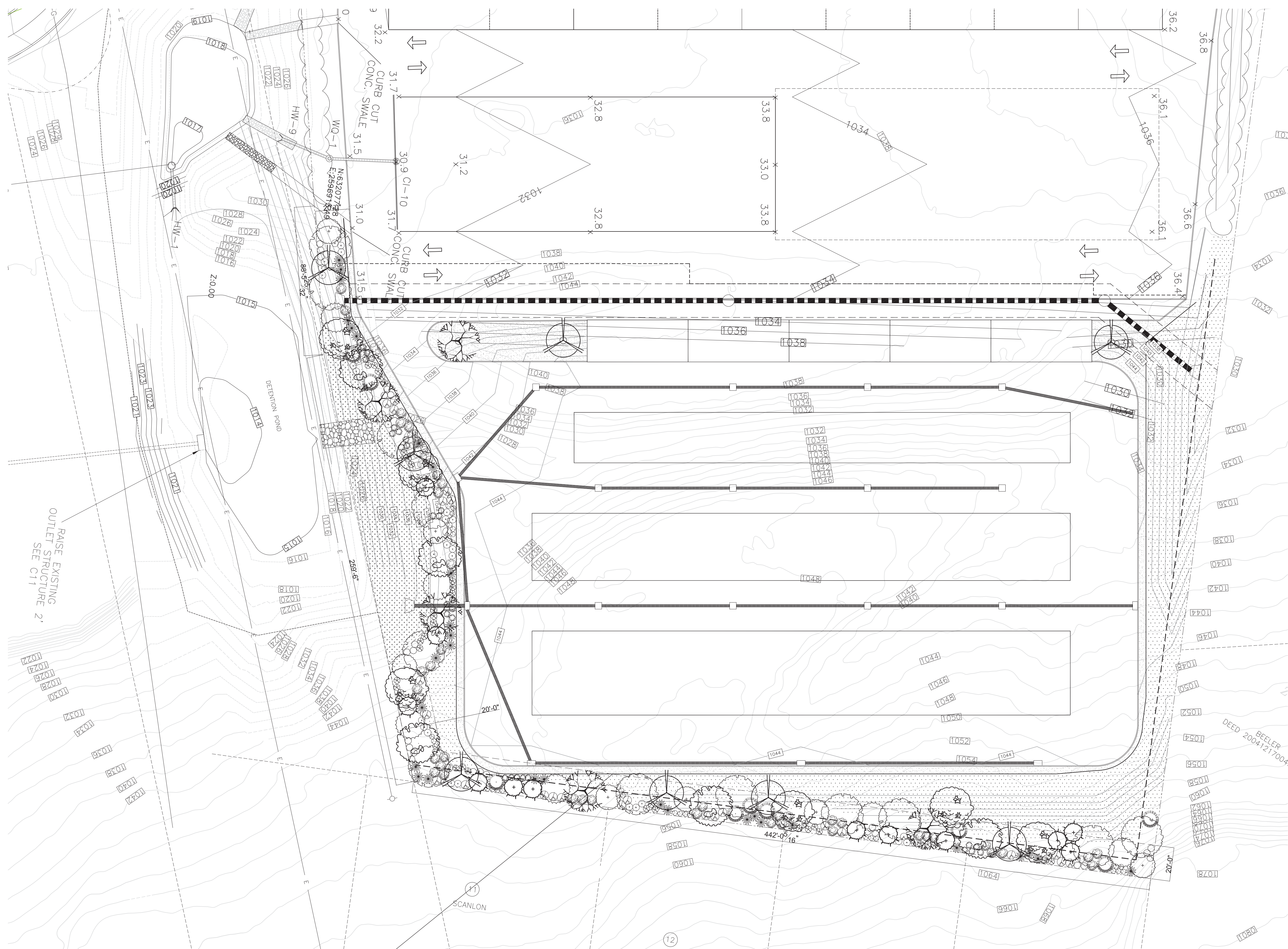
SHEET 2 OF 6

PROJ. NO. 21127

MARK V GRAHAM
ENGINEERING CONSULTANTS, LLC

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KNOXVILLE, TN 37950

PHONE: 865 712-9210
Mark.V.Graham@gmail.com

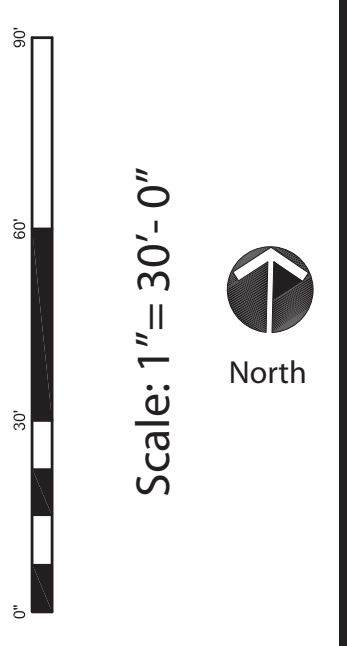


- Plant Legend**
- Trees**
- Sweetgum
 - Shumard Oak
 - Wildfire Blackgum
 - Ginkgo
 - Green Mountain Sugar Maple
 - Sweetgum, Maconia
 - Pinkii Eastern Red Cedar
 - Satur Hill American Holly
 - Green Giant Arborvitae
 - Radicans Japanese Cryptomeria
- Shrubs**
- Blution Bush
 - Prague Viburnum
 - Black Chokeberry
 - Rose Creek Alectis
 - Inkberry Holly
 - Maconia Fothergilla
 - Carex Holly
 - Little Henry Virginia Sweetpepper
- Seed Mixes**
- Fescue Seed
 - Roundstone Mix 199 Steep Slope Stabilization Native Mix
 - Roundstone Mix 115 Steep Slope Stabilization Native Mix

Chandler Design & Planning, LLC
 1337 Willow Grove Drive
 Knoxville, TN 37932
 Phone #: (423)-416-1869

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**Landscape Plan
 With Topography**
 June 20, 2023

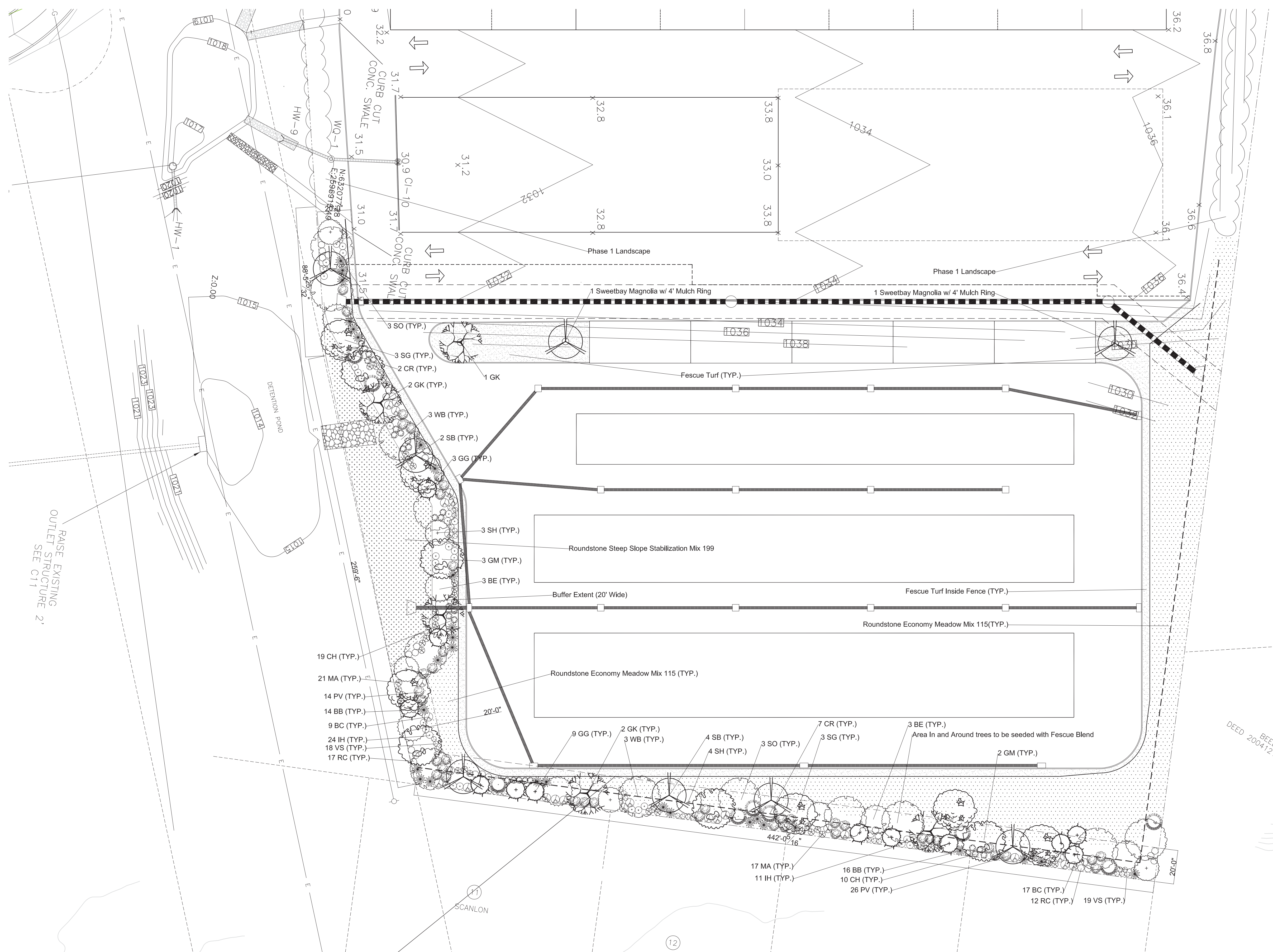


Calculations of Tree Requirement Based on Property Size:
 Entire Property Size: 8.41 Acres
Phase II Property Size: ~3.56 Acres
 Requirement: 8 Trees per Acre with half Maturing at 50' in height, 8 x 3.56 Acres= 29 Trees
 Total Number of Trees To Be Added: 70
 35 specified to be 50' in Height at Maturity (50%)
 Existing Trees to Be Retained= N/A

Calculations for Class B Buffer
 Linear Dimension: 790'
 Required Shrubs: 264 (1 Shrub for every 3 LF-50 % Evergreen)
 Required Evergreen Trees: 40 (1 Evergreen Tree for every 20 LF)
 Required Shade Trees: 27 (1 Shade Tree for every 30 LF)
Note:
 It is intended to submit an Alternate Landscape Design Application **IF needed**, to address the less than 20' buffer width in the South-west Corner of the property.

City Block: 33196
 Parcel ID: 04909208

865 Storage
 5852 Washington Pike
 Knoxville, TN 37918

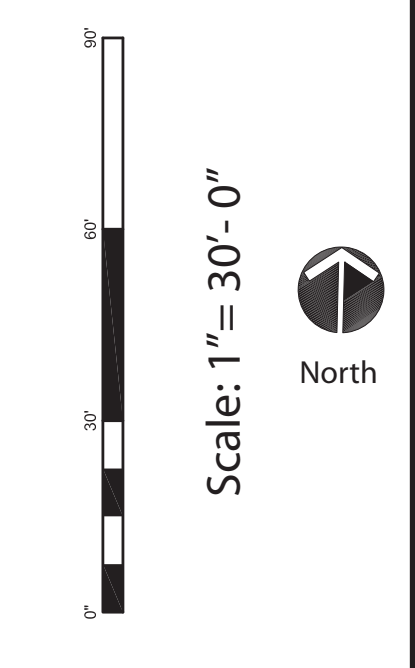


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Landscape Plan
June 20, 2023



865 Storage
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Knoxville, TN 37918

LP1.01
(Sheet 1 of 3)

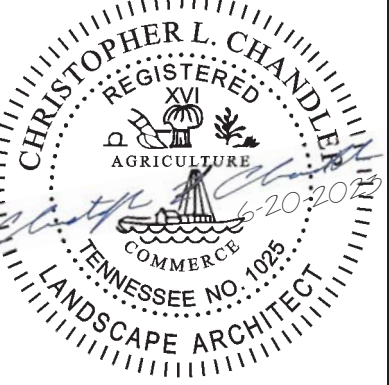
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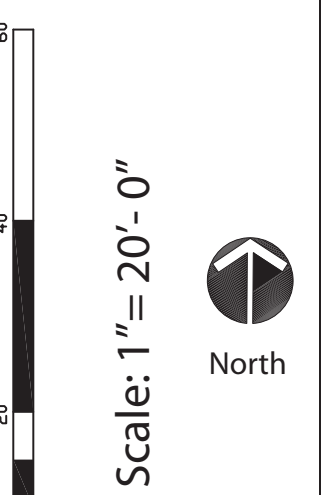
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Landscape Plan

June 20, 2023



865 Storage
 5852 Washington Pike
 Knoxville, TN 37918

LP1.02
 (Sheet 2 of 3)

Plant Legend

Trees

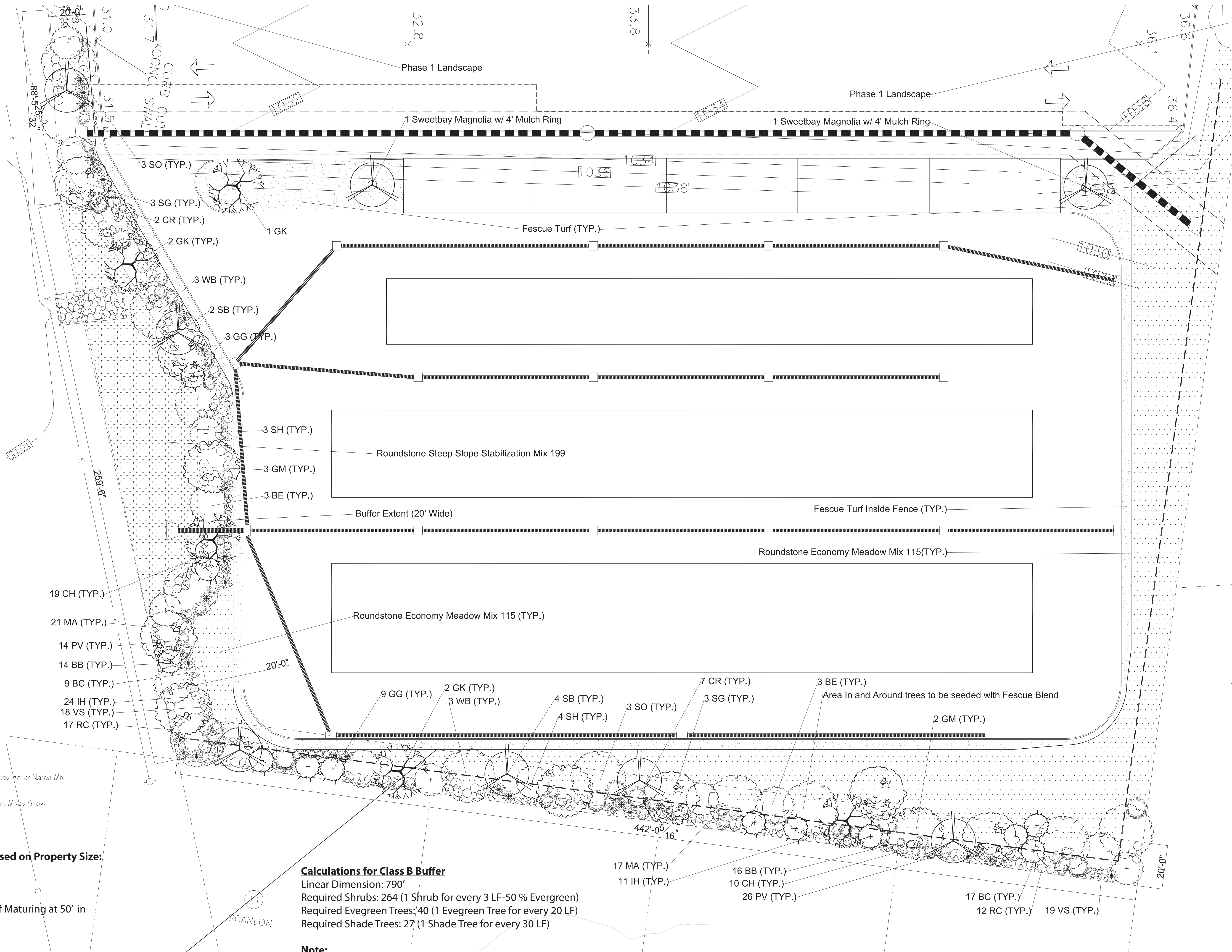
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- Green Giant Arborvitae
- Radicans Japanese Cryptomeria

Shrubs

- Button Bush
- Praque Viburnum
- Black Chokeberry
- Rose Creek Abelia
- Inkberry Holly
- Mount Airy Fothergilla
- Carissa Holly
- Little Henry Virginia Sweetspire

Seed Mixes

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- Roundstone Mix 199 Steep Slope Stabilization Native Mix
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City Block: 33196
 Parcel ID: 04909208

LANDSCAPE INSTALLATION SPECIFICATIONS:

SUBSTITUTIONS: DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED MATERIAL IS NOT OBTAINABLE, CONTACT LANDSCAPE ARCHITECT TO DISCUSS EQUIVALENT SUBSTITUTIONS, OR REFER TO THE KNOX COUNTY TREE LIST.

PLANT QUALITY: PROVIDE TREES, SHRUBS, AND OTHER PLANTS OF QUANTITY SIZE, GENUS, SPECIES AND VARIETY LISTED. CONTRACTOR WILL BE EXPECTED TO PROVIDE PLANTS WHICH CAN BE CONSIDERED TO HAVE A QUALITY WHICH IS HIGHER THAN MINIMUM ACCEPTABLE.

TOPSOIL: TOPSOIL SHALL BE NATURAL, FERTILE, AGRICULTURAL SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. SOIL SHALL BE FREE OF STONES, LUMPS, LIVE PLANTS AND THEIR ROOTS, STICKS AND OTHER EXTRANEIOUS MATTER. IT SHALL HAVE A PH RANGE OF 5.0 TO 7.0, AND CONTAIN NOT LESS THAN 5% ORGANIC MATTER. THE SOIL SHALL NOT BE CONTAMINATED WITH SUBSTANCES HARMFUL TO HUMANS OR THE GROWTH OF PLANTS.

BACKFILL: BACKFILL SHALL CONSIST OF EXISTING SOIL FROM THE HOLE PLUS TOPSOIL PLUS APPROVED ORGANIC MATTER IN THE RATIO OF 3:2:1 RESPECTIVELY. SETTLE SUCH BACKFILL WITH WATER AFTER LAYERING THIS MATERIAL IN THE PLANTING PIT. REMOVE ALL NON-BIODEGRADABLE BURLAP AND CUT ALL STRINGS SURROUNDING TRUNK. HOLES MAY BE HAND DUG OR EXCAVATED W/ APPROPRIATELY SIZED AUGER WHERE ACCESSIBLE. PLANTING HOLES SHALL BE AMENDED AS NECESSARY.

BED PREPARATION: THE SOIL FOR PLANTING BEDS FOR SHRUBS, PERENNIALS, AND GROUNDCOVERS SHALL CONSIST OF A MINIMUM OF 4 INCHES OF TOPSOIL. BEDS SHALL BE EVENLY TILLED, RAKED TO A LEVEL GRADE AND THEN PLANTED PRIOR TO MULCHING.

CONDITIONS: THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ADVERSE SOIL DRAINAGE CONDITIONS OR OTHER SITUATIONS UNFAVORABLE FOR LANDSCAPE INSTALLATION.

TURF AREAS: AREAS DESIGNATED SEED ARE TO BE SEEDED WITH A FESCUE BLEND APPROPRIATE FOR THE REGION. ALL SEED AREAS SHALL BE HARLEY RAKED AND CLEAN OF ROCKS, CLUMPS, AND LARGE DEBRIS PRIOR TO PLANTING.

STAKING/GUYING: TREES ARE NOT TO BE STAKED OR GUYED. RATHER, SOIL SHALL BE ADEQUATELY FIRMED INTO PLACE AS THESE PLANTS ARE INSTALLED TO REMOVE AIR POCKETS AND TO KEEP PLANTS FROM SHIFTING.

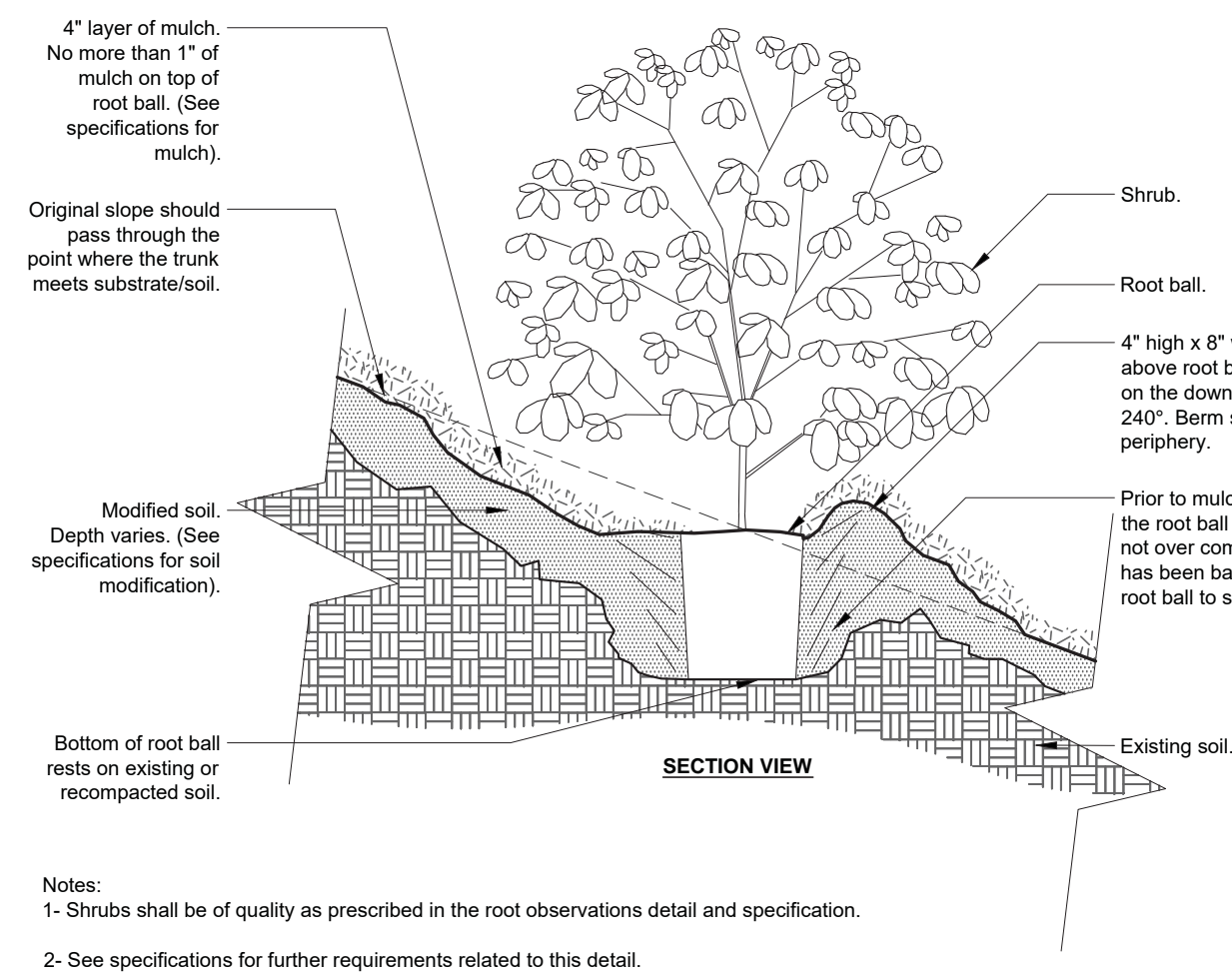
MULCH: MULCHES SHALL BE SHREDDED HARDWOOD BARK AT A DEPTH OF 3" OR PINE STRAW AT A DEPTH OF 4" UNLESS OTHERWISE SPECIFIED. MULCHES SHALL BE FREE FROM MATURED SEED, NOXIOUS WEEDS, HARMFUL INSECTS, OR ANY SPECIES OR CHEMICALS DETRIMENTAL TO HUMANS AND THE DEVELOPMENT OF PLANTS. ALL TREES LOCATED IN ISLANDS AND TURF AREAS SHALL BE INSTALLED WITH A 4' DIAMETER MULCH RING.

TREE MULCH RINGS: ALL TREES SURROUNDED BY TURF SHALL HAVE A 3-4' DIAMETER MULCH RING AS SHOWN ON THE PLAN

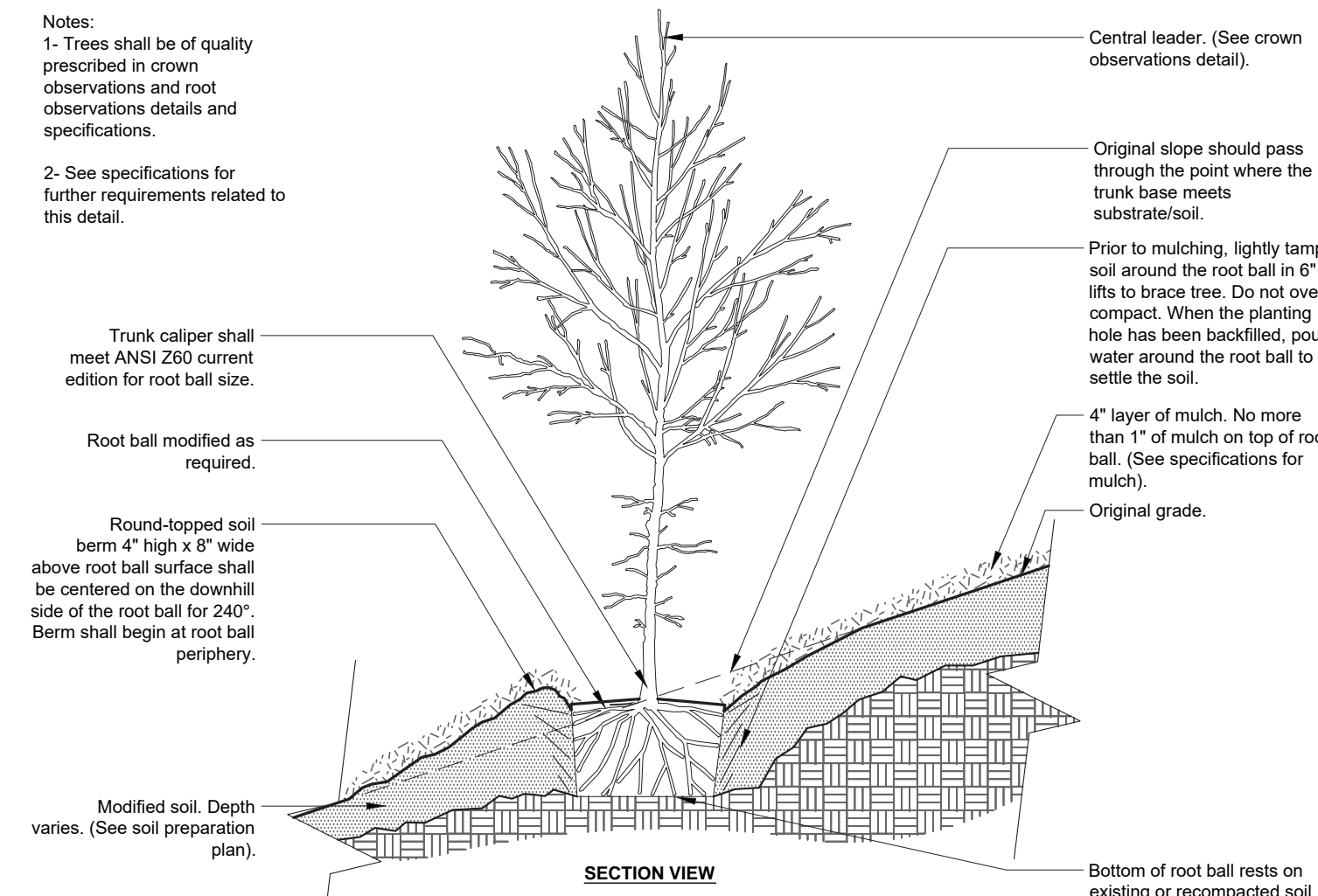
CLEAN-UP: DURING PLANTING, EXCESS AND WASTE SHALL BE PROMPTLY AND CONTINUOUSLY REMOVED, LAWN AREAS AND PAVED SURFACES KEPT CLEAR AND ALL REASONABLE PRECAUTIONS SHALL BE MADE TO AVOID DAMAGE TO EXISTING STRUCTURES, PLANTS AND GRASS. WALKS AND PAVED AREAS SHALL BE HOSED DOWN AND CLEANED TO APPEAR AS THEY HAD PRIOR TO BEGINNING OF WORK.

Plant List					
Symbol	Quantity	Common Name	Scientific Name	Size	Remarks
Trees					
SB	8	Moonglow Sweetbay Magnolia	Magnolia virginiana 'Jim Wilson'	8Ft tall	B&B or 15 Gallon
BE	6	Burkii Eastern Red Cedar	Juniperus virginiana 'Burkii'	8Ft tall	B&B
SH	7	Satyr Hill American Holly	Ilex opaca 'Satyr Hill'	8Ft tall	B&B
GG	12	Green Giant Arborvitae	Thuja occidentalis 'Green Giant'	8Ft tall	15 or 25 Gallon
CR	9	Radicans Japanese Cryptomeria	Cryptomeria japonica 'Radicans'	8Ft tall	B&B
SG	6	Sweetgum	Liquidambar styraciflua	2in Cal.	B&B, 8-10FT tall
SO	6	Shumard Oak	Quercus shumardii	2in Cal.	B&B, 8-10FT tall
WB	6	Wildfire Blackgum	Nyssa sylvatica 'Wildfire'	2in Cal.	B&B, 8-10FT tall
GM	5	Green Mountain Sugar Maple	Acer saccharum 'Green Mountain'	2in Cal.	B&B, 8-10FT tall
GK	5	Ginkgo	Ginkgo biloba (Male)	2in Cal.	B&B, 8-10FT tall
Shrubs					
RC	29	Rose Creek Abelia (Evergreen)	Abelia x 'Rose Creek'	18-24in Spr.	3 Gallon
IH	35	Compacta Inkberry Holly (Evergreen)	Ilex glabra 'Compacta'	18-24in Spr.	3 Gallon
CH	29	Carissa Holly (Evergreen)	Ilex cornuta 'Carissa'	18-24in Spr.	3 Gallon
MA	38	Mount Airy Fothergilla	Fothergilla gardenii 'Mount Airy'	18-24in Spr.	3 Gallon
BB	30	Button Bush	Cephalanthus occidentalis	18-24in Spr.	3 Gallon
PV	40	Prague Viburnum (Evergreen)	Viburnum x pragnense	18-24in Spr.	3 Gallon
BC	26	Black Chokeberry	Aronia melanocarpa	18-24in Spr.	3 Gallon
VS	37	Little Henry Virginia Sweetspire	Itea virginica 'Sprich'	18-24in Spr.	3 Gallon
Seed Mixes					
Labeled	~6,890SF	Turf Seed	Fescue Blend Appropriate for Region Applied at Recommended Rate		
Labeled	~5,105SF	Steep Slope Stabilization Native Mix	Roundstone Seed Mix 199		Follow Manufacture Specs
Labeled	~17,374SF	Economy Southern Mixed Grass Meadow Mix	Roundstone Seed Mix 115		Follow Manufacture Specs

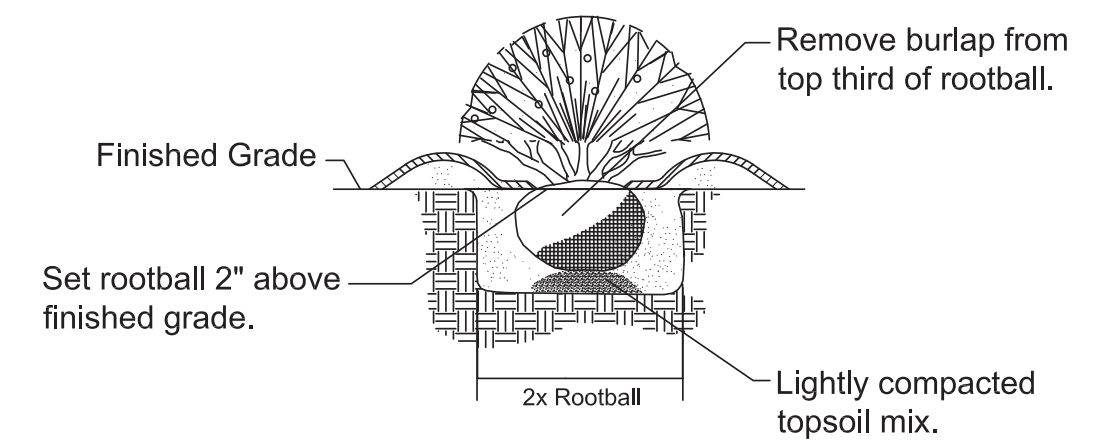
**Always refer to plan for accurate quantities



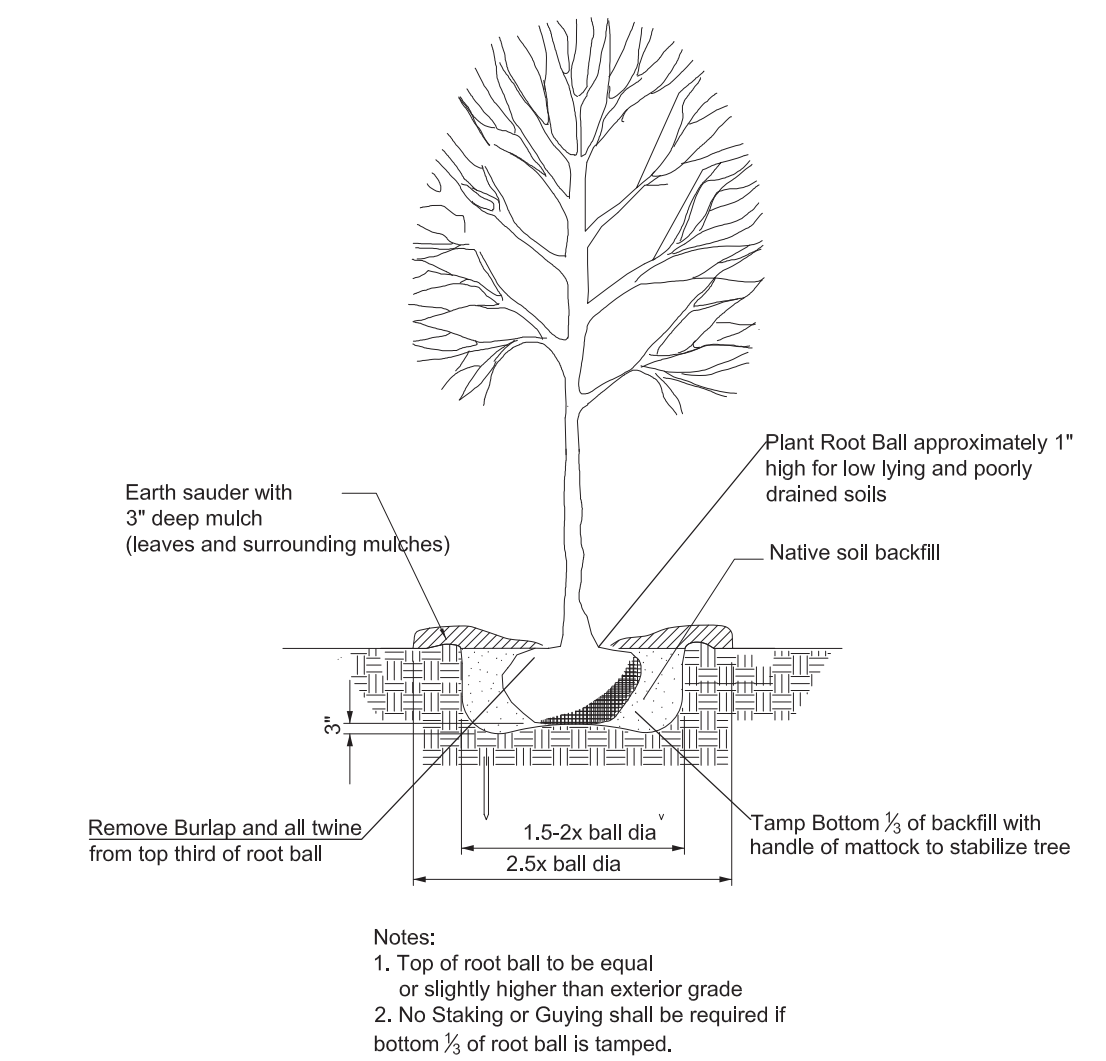
P-X SHRUB ON SLOPE 5% (20:1) TO 50% (2:1) - MODIFIED SOIL



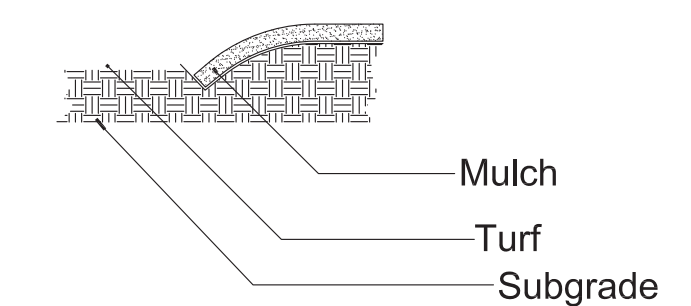
P-X TREE ON SLOPE 5% (20:1) TO 50% (2:1) (EXISTING SOIL MODIFIED)



A 1 Typical Shrub Planting Detail Not To Scale



LP 2 Typical Tree Detail NTS




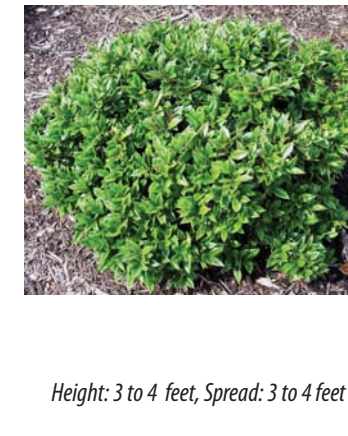



Trench Edge Detail Not To Scale





Deciduous Trees

<p>Wildfire Blackgum <i>Nyssa sylvatica 'Wildfire'</i></p>  <p>Height: 30 to 50 feet, Spread: 20 to 30 feet</p>	<p>Sweet gum <i>Liquidambar styraciflua</i></p>  <p>Height: 60 to 80 feet, Spread: 40 to 60 feet</p>	<p>Autumn Gold Maidenhair Tree <i>Ginkgo biloba 'Autumn Gold'</i></p>  <p>Height: 35 to 50 feet, Spread: 35 to 50 feet</p>	<p>Japanese Cryptomeria <i>Cryptomeria japonica 'Radicans'</i></p>  <p>Height: 20 to 30 feet, Spread: 7 to 10 feet</p>
<p>Shumard Oak <i>Quercus shumardii</i></p>  <p>Height: 40 to 60 feet, Spread: 30 to 40 feet</p>	<p>Green Mountain Sugar Maple <i>Acer saccharum 'Green Mountain'</i></p>  <p>Height: 40 to 50 feet, Spread: 30 to 40 feet</p>	<p>Evergreen Trees</p> <p>Moonglow Sweetbay Magnolia <i>Magnolia virginiana 'Jim Wilson'</i></p>  <p>Height: 12 to 20 feet, Spread: 12 to 20 feet Semi-Evergreen</p>	<p>Green Giant Arborvitae <i>Thuja occidentalis 'Green Giant'</i></p>  <p>Height: 25 to 30 feet, Spread: 10 to 12 feet</p>



Evergreen Shrubs

<p>Satyr Hill American Holly <i>Ilex opaca 'Satyr Hill'</i></p>  <p>Height: 30-40 feet, Spread: 15-25 feet</p>	<p>Inkberry Holly <i>Ilex glabra 'Compacta'</i></p>  <p>Height: 3 to 6 feet, Spread: 3 to 6 feet</p>	<p>Prague Viburnum <i>Viburnum x pragnense</i></p>  <p>Height: 6-8 feet, Spread: 6-8 feet</p>
<p>Carissa Holly <i>Ilex cornuta 'Carissa'</i></p>  <p>Height: 3 to 4 feet, Spread: 3 to 4 feet</p>	<p>Rose Creek Abelia <i>Abelia x 'Rose Creek'</i></p>  <p>Height: 2 to 3 feet, Spread: 3 to 4 feet</p>	

Deciduous Shrubs

<p>Button Bush <i>Cephalanthus occidentalis</i></p>  <p>Height: 6-8 feet, Spread: 6-8 feet</p>	<p>Mount Airy Fothergilla <i>Fothergilla gardenii 'Mount Airy'</i></p>  <p>Height: 3 to 4 feet, Spread: 3 to 4 feet</p>
<p>Little Henry Dwarf Virginia Sweetspire <i>Itea virginica 'Sprich'</i></p>  <p>Height: 2 to 3 feet, Spread: 2 to 3 feet</p>	<p>Black Chokeberry <i>Aronia melanocarpa</i></p>  <p>Height: 3-6 feet, Spread: 3-6 feet</p>

Native Seed Mixes

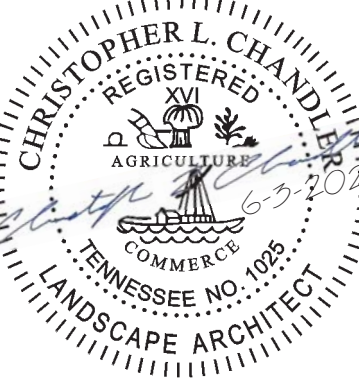
<p>Economy Southern Mixed Grass Meadow Mix Roundstone Seed Mix 115</p> 	<p>Steep Slope Stabilization Native Mix Roundstone Seed Mix 199</p> 
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Calculations of Tree Requirement Based on Property Size:
Entire Property Size: 8.41 Acres
Phase II Property Size: ~3.56 Acres

Requirement: 8 Trees per Acre with half Maturing at 50' in height, 8 x 3.56 Acres= 29 Trees

Total Number of Trees To Be Added: 70
35 specified to be 50' in Height at Maturity (50%)
Existing Trees to Be Retained= N/A

Calculations for Class B Buffer
Linear Dimension: 790'
Required Shrubs: 264 (1 Shrub for every 3 LF)
Required Evergreen Trees: 40 (1 Evergreen Tree for every 20 LF)
Required Shade Trees: 27 (1 Shade Tree for every 30 LF)



These drawings, specifications, and the concepts represented are and shall remain the property of the Landscape Architect. No part shall be copied or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the Landscape Architect.

- X SITE KEYED NOTES**
- 1 LIGHT ASPHALT, SEE DETAIL 1/CX.X
 - 2 HEAVY DUTY ASPHALT, SEE DETAIL 2/CX.X
 - 3 EXTRUDED CONCRETE CURB, SEE DETAIL 3/CX.X
 - 4 4" WIDE PAINTED WHITE STRIPE
 - 5 CHAIN LINK FENCE, MATCH EXISTING
 - 6 LAWN
 - 7 LANDSCAPE BUFFER, SEE SHEET LS
 - 8

GENERAL NOTES

ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.

THIS SITE IS A PRIORITY CONSTRUCTION ACTIVITY

THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY, INCLUDING BUT NOT LIMITED TO COMPLIANCE WITH ALL APPLICABLE OSHA REGULATIONS.

CONTRACTOR IS TO COORDINATE THE SITE WALL PLANS WITH THE SITE/LAYOUT PLAN AND GRADING PLAN. VERIFY ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES BEFORE START OF CONSTRUCTION.

COORDINATE ALL UTILITY MODIFICATIONS WITH LOCAL UTILITY BOARD.

LOCATE EXISTING WATER LINE AND SANITARY SEWER LINE BEFORE CONSTRUCTION.

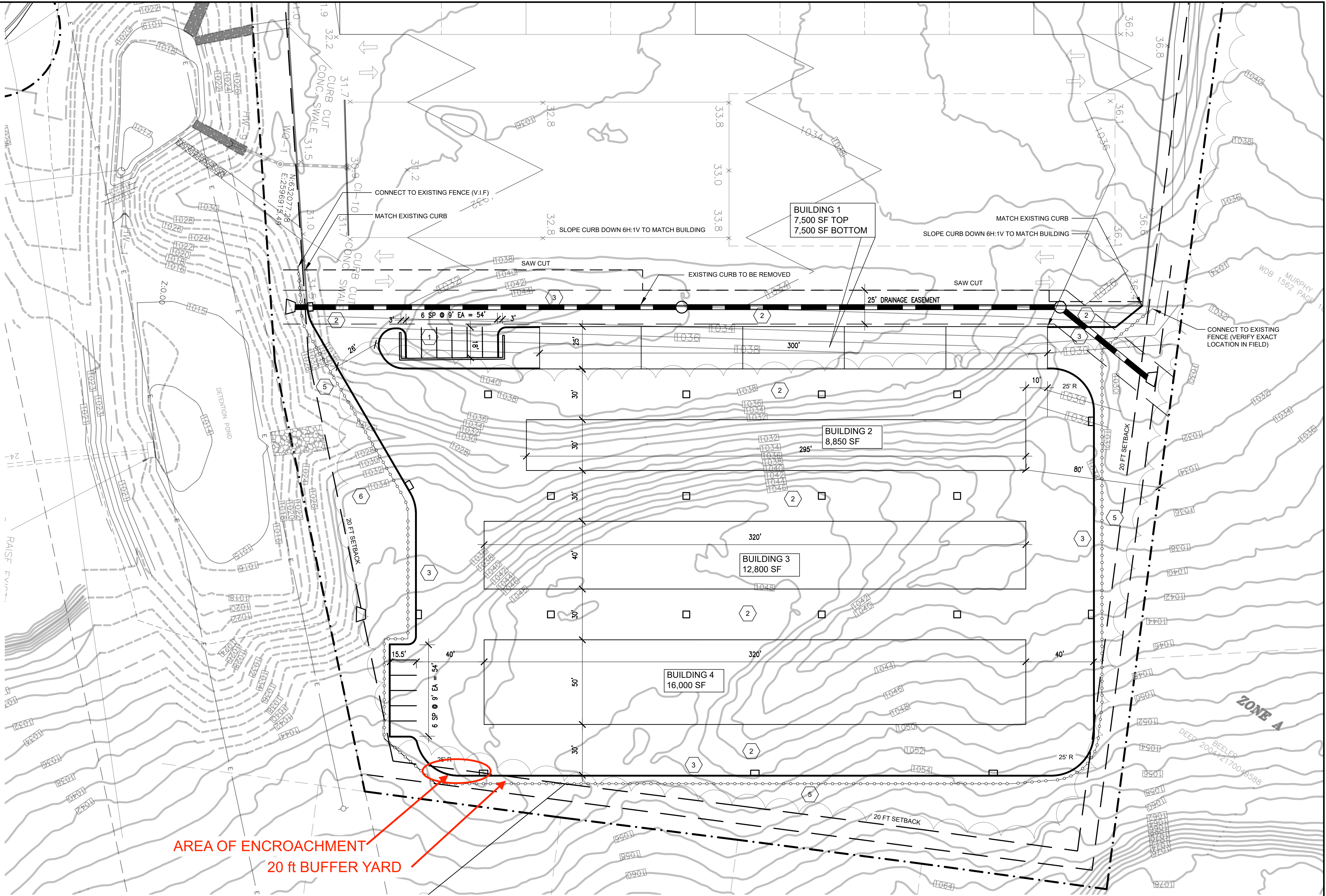
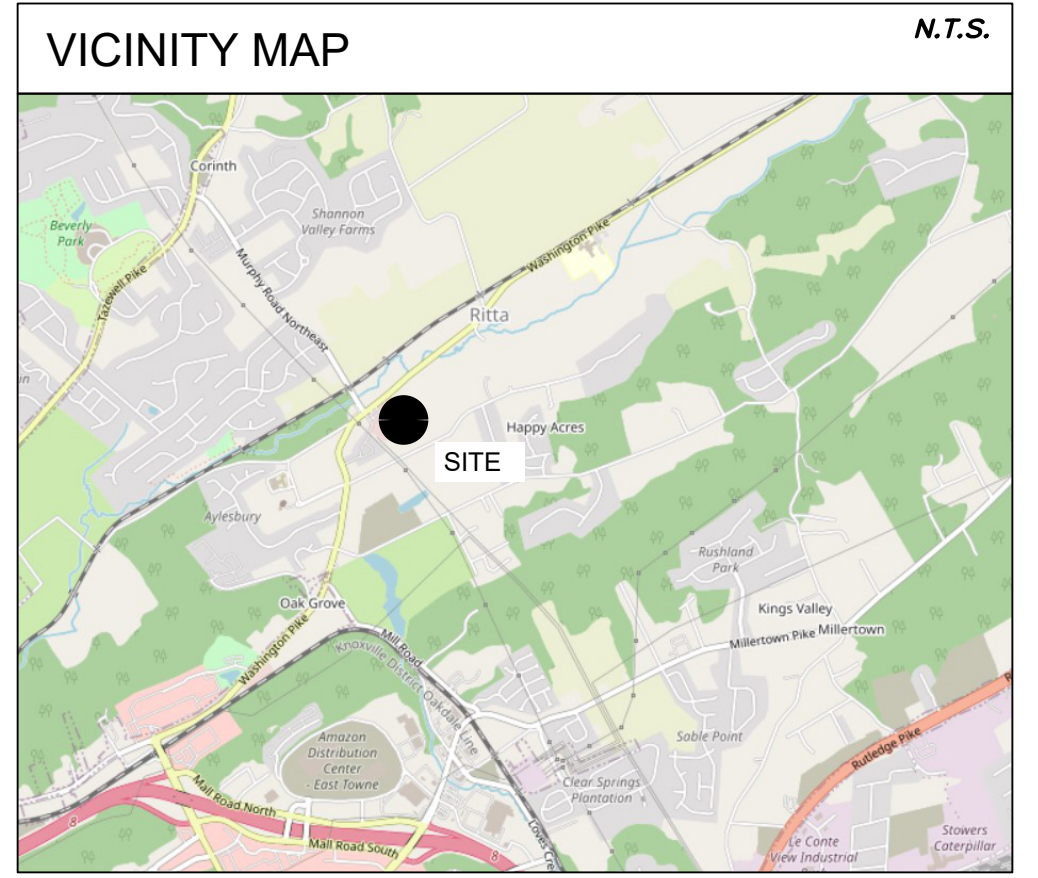
PLAN RELOCATION OF EXISTING OVERHEAD UTILITIES AND WATER, SEWER LINES BEFORE EXCAVATION.

EXISTING CONDITIONS AND PROPERTY LINES BY OTHERS

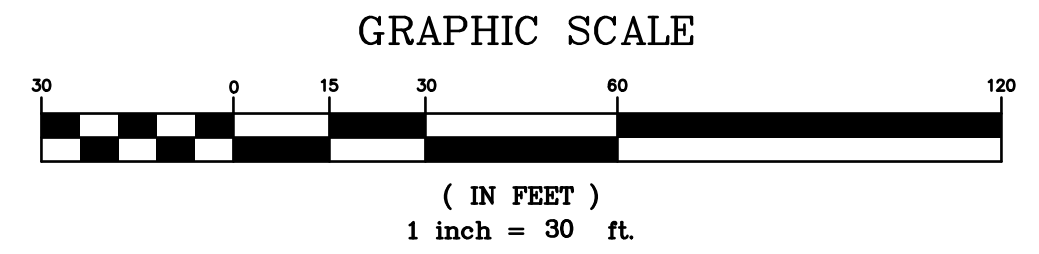
SURVEY:
 TERRY ROMANS, RLS, PE
 1923 HOPEWELL ROAD
 KNOXVILLE TENNESSEE 37920
 (865) 579-5736

Parcel ID 049 09208
 CLT Map 49
 Ward 33
 City Block 33196

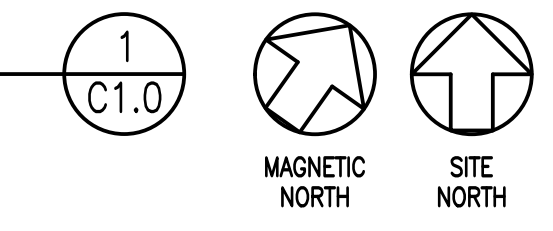
Total Area 8.41 Ac
 Disturbed Area xx
 Added Impervious xx



NO OUTDOOR VEHICLE, TRUCK OR EQUIPMENT STORAGE IS PROPOSED



LAYOUT PLAN
 SCALE: 1" = 30'-0"



MARK V GRAHAM
 ENGINEERING CONSULTANTS, LLC

PHONE: 865 712-9210
 Mark.V.Graham@gmail.com

PO BOX 58131
 KNOXVILLE, TN 37950

NO.	DESCRIPTION	DATE

REVISIONS

865 STORAGE
 5852 WASHINGTON PIKE
 KNOXVILLE, TENNESSEE

LAYOUT PLAN

DATE: 2/4/22

C1.0
 SHEET 1 OF 6

PROJ. NO. 21127

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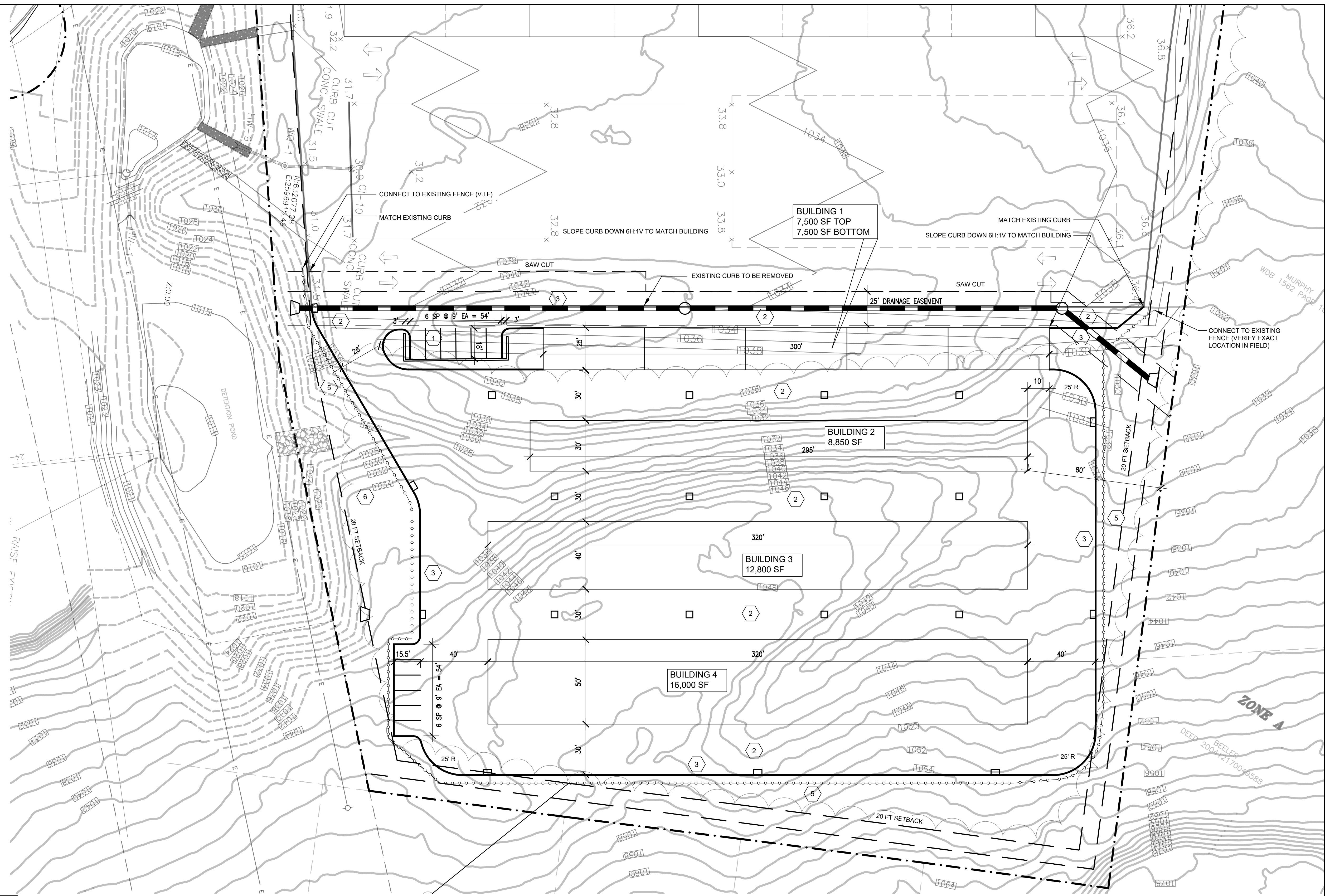
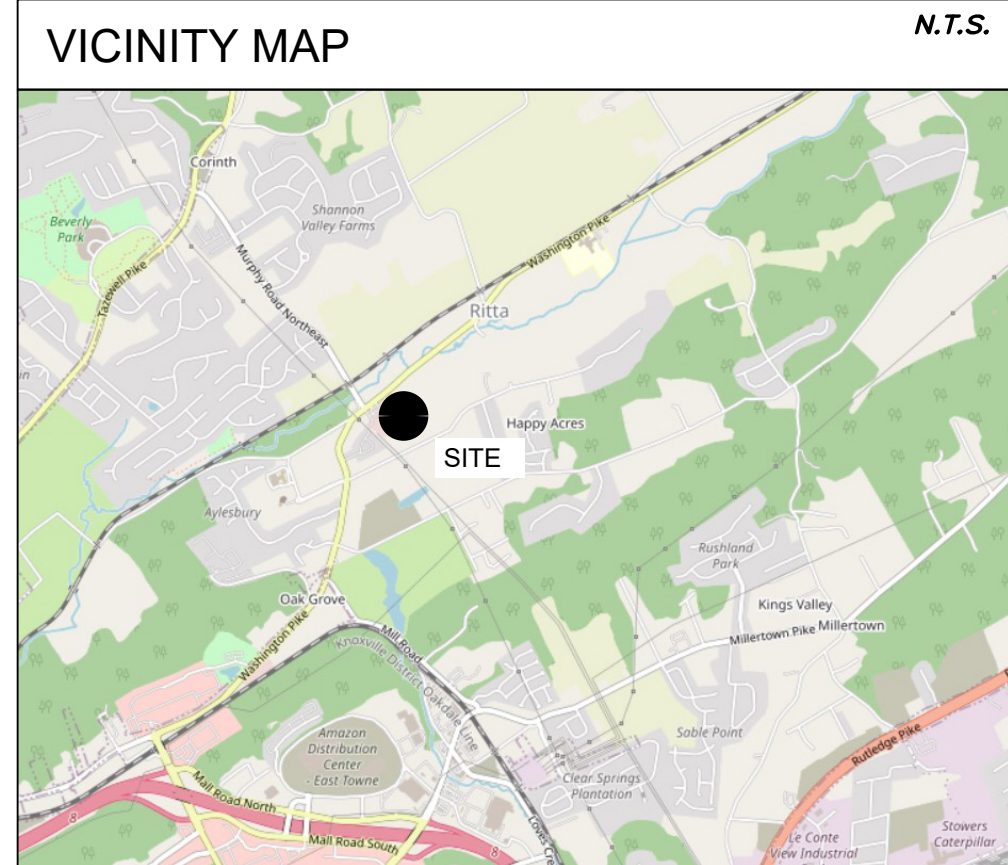
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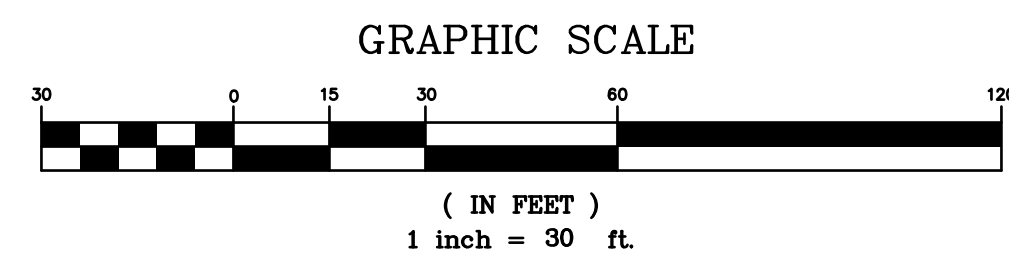
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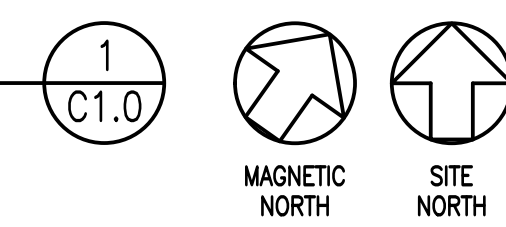
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 SHEET 1 OF 6

PROJ NO. 21127



865Storage.com



















