

File # 1-B-22-VA



BOARD OF ZONING APPEALS APPLICATION

Click on Meeting Schedule, Deadlines and Fees for information on submitting an application to be heard at a monthly Board meeting.

APPLICANT INFORMATION

APPLICANT IS:

THIS PROPOSAL PERTAINS TO:

Name Alden E. Gaertner	Owner <input checked="" type="checkbox"/>	New Structure <input type="checkbox"/>
Street Address 1005 Kenesaw Ave	Contractor <input type="checkbox"/>	Modification of Existing Structure <input checked="" type="checkbox"/>
City, State, Zip Knoxville, TN 37919	Tenant <input type="checkbox"/>	Off Street Parking <input type="checkbox"/>
Phone Number 865-441-1329	Other <input type="checkbox"/>	Signage <input type="checkbox"/>
Email alden.gaertner@gmail.com		Other <input type="checkbox"/>

THIS IS A REQUEST FOR:

- Zoning Variance (Building Permit Denied)
- Extension of Non-Conforming Use/or Structure
- Appeal of Administrative Official's Decision
- Map Interpretation

PROPERTY INFORMATION

Street Address 1005 Kenesaw Ave City, State, Zip Knoxville, TN 37919
 See KGIS.org for Parcel # 122AB018 and Zoning District RN-1

VARIANCE REQUIREMENTS

City of Knoxville Zoning Ordinance Article 7, Section 2
 The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.
 The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

DESCRIPTION OF APPEAL

Describe your project and why you need variances.

We are planning to add a master suite to the southern side of our single story residence. A zoning variance will allow for a design more consistent with the existing layout and interior flow of the home. We are requesting a variance from 8' to 6'11" for the interior side setback.

Describe hardship conditions that apply to this variance.

The layout of the lot and the existing home require building on the southern side, approaching the property line with the setback 6'11" from the interior side property line.

APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE

DATE

12/9/21

File #



BOARD OF ZONING APPEALS APPLICATION

*******OFFICE USE ONLY*******

Is a plat required? Yes No

Small Lot of record?

VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):

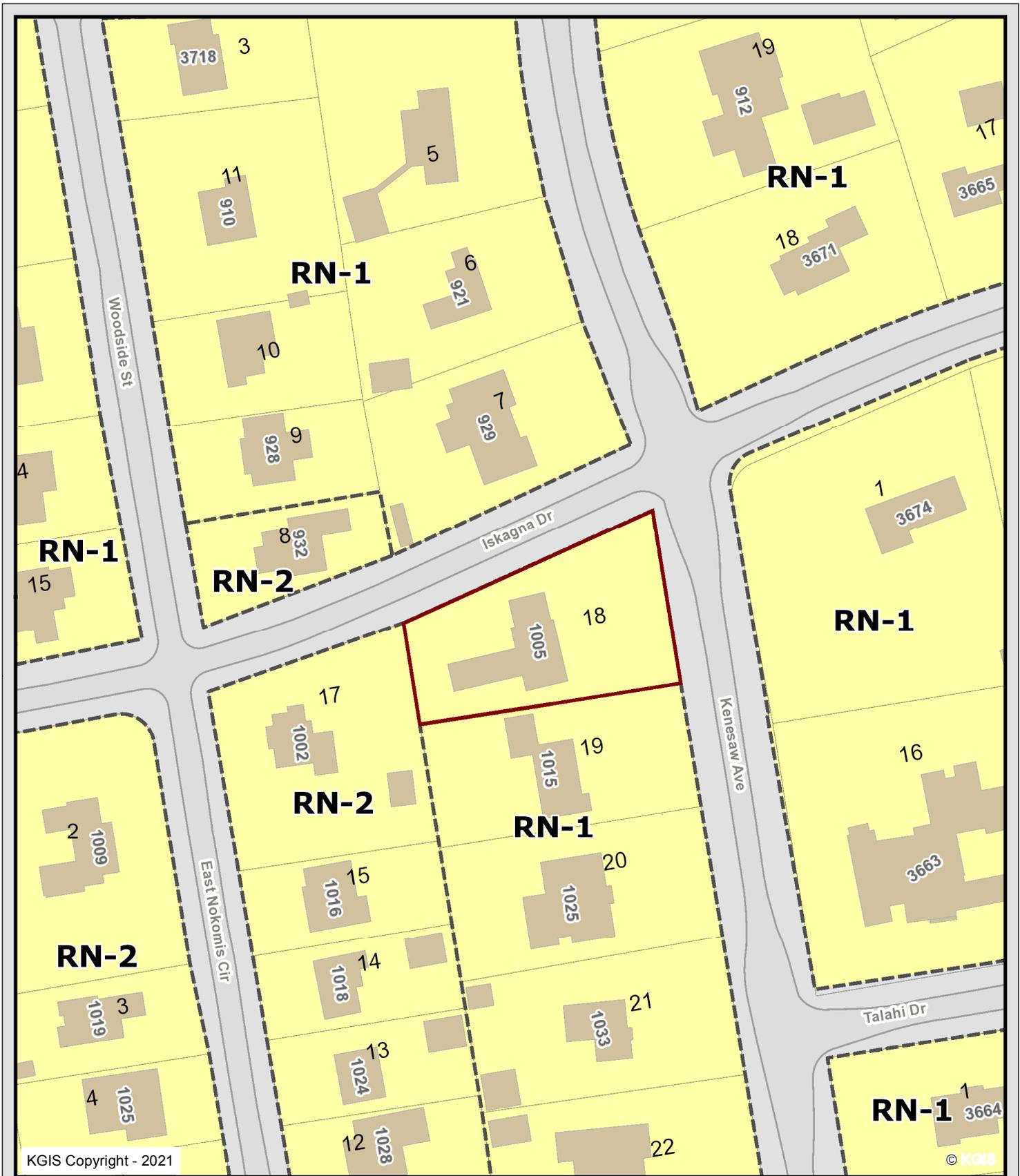
Large empty rectangular area for providing variance request details and ordinance citations.

PROJECT INFORMATION

Date Filed | Fee Amount

Council District | BZA Meeting Date

PLANS REVIEWER | DATE



1005 Kenesaw Ave

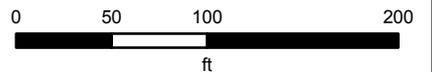
1-B-22-VA

Alden E. Gaertner

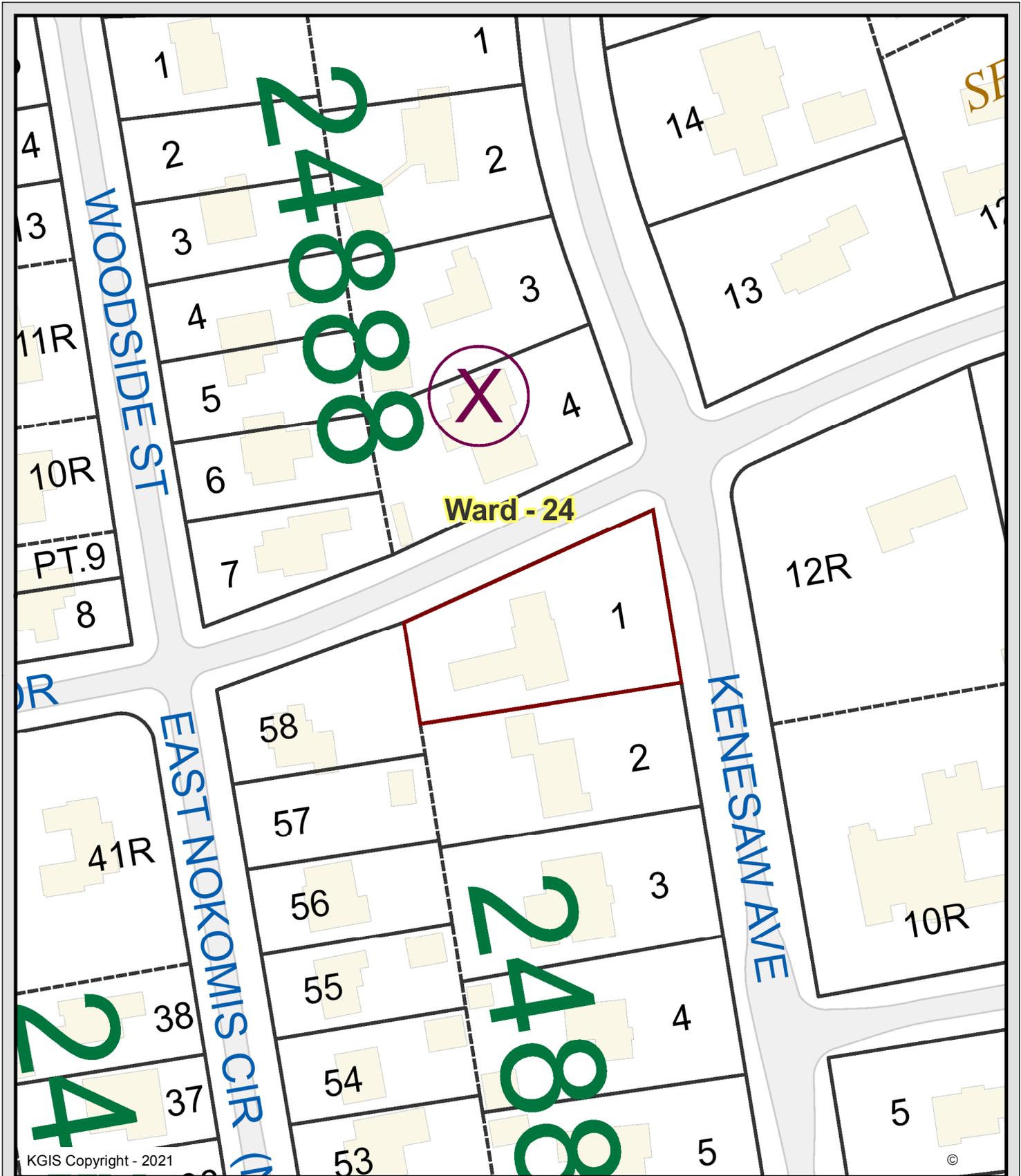
Knoxville - Knox County - KUB Geographic Information System



Printed: 12/9/2021 at 2:44:23 PM



KGIS makes no representation or warranty as to the accuracy of his map and its information nor to its fitness for use. Any user of this map product accepts the same AS IS, WITH ALL FAULTS, and assumes all responsibility for the use thereof, and further covenants and agrees to hold KGIS harmless from any and all damage, loss, or liability arising from any use of this map product.



KGIS Copyright - 2021

1005 Kenesaw Ave

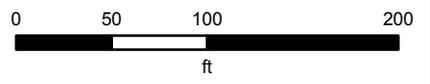
1-B-22-VA

Alden E. Gaertner

Knoxville - Knox County - KUB Geographic Information System



Printed: 12/9/2021 at 2:44:45 PM



KGIS makes no representation or warranty as to the accuracy of his map and its information nor to its fitness for use. Any user of this map product accepts the same AS IS ,WITH ALL FAULTS, and assumes all responsibility for the use thereof, and futher covenants and agrees to hold KGIS harmless from any and all damage, loss, or liability arising from any use of this map product.



KGIS Copyright - 2021

© KGIS

1005 Kenesaw Ave

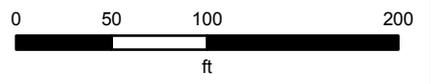
1-B-22-VA

Alden E. Gaertner

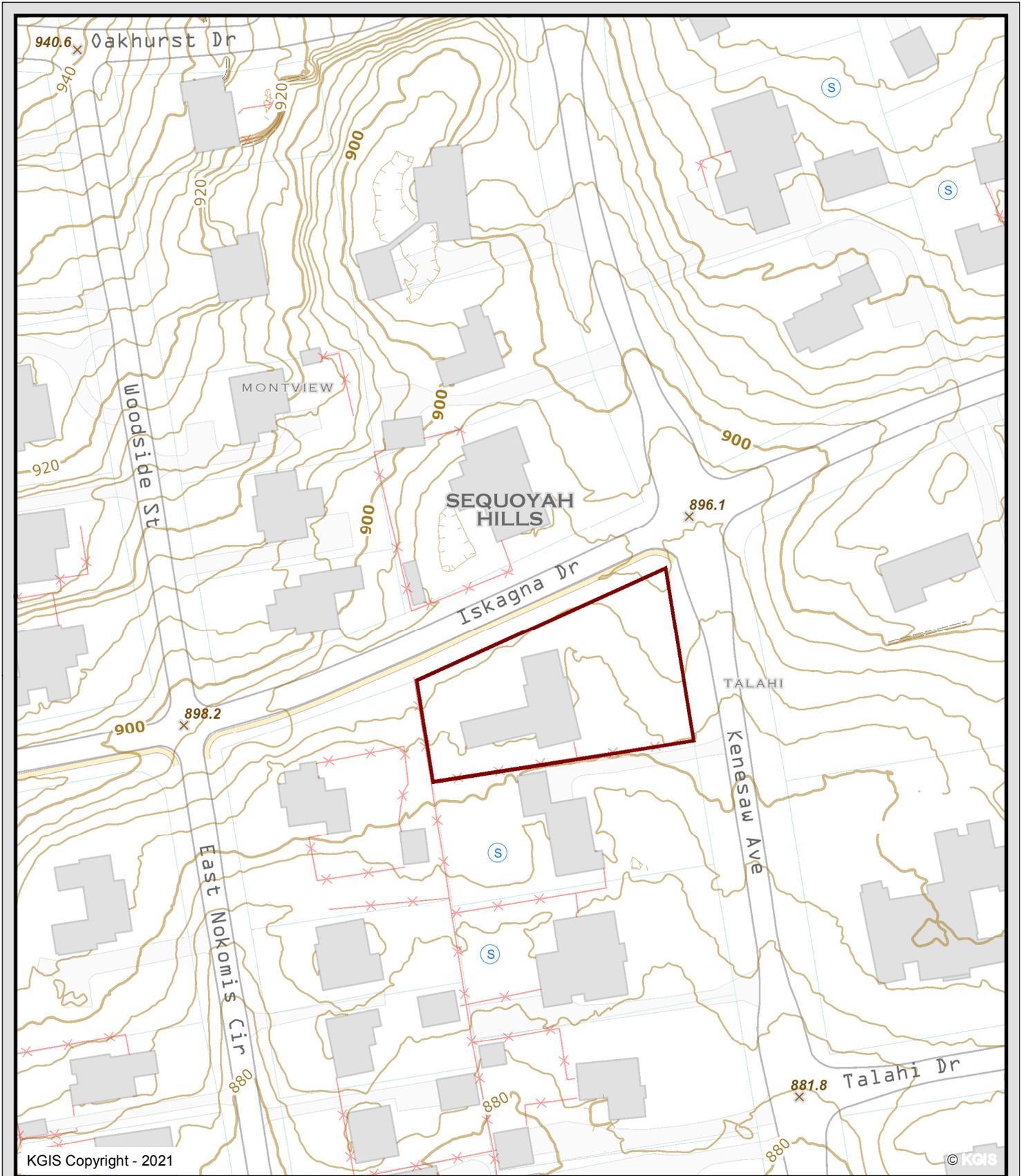
Knoxville - Knox County - KUB Geographic Information System



Printed: 12/9/2021 at 2:46:15 PM



KGIS makes no representation or warranty as to the accuracy of his map and its information nor to its fitness for use. Any user of this map product accepts the same AS IS ,WITH ALL FAULTS, and assumes all responsibility for the use thereof, and futher covenants and agrees to hold KGIS harmless from any and all damage, loss, or liability arising from any use of this map product.



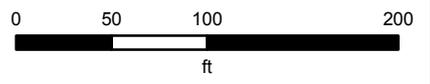
1005 Kenesaw Ave

1-B-22-VA
Alden E. Gaertner

Knoxville - Knox County - KUB Geographic Information System



Printed: 12/9/2021 at 2:46:36 PM



KGIS makes no representation or warranty as to the accuracy of his map and its information nor to its fitness for use. Any user of this map product accepts the same AS IS ,WITH ALL FAULTS, and assumes all responsibility for the use thereof, and futher covenants and agrees to hold KGIS harmless from any and all damage, loss, or liability arising from any use of this map product.

THIS SURVEY WAS PREPARED USING A COMBINATION OF RTK GNSS AND CONVENTIONAL TOTAL STATION DATA COLLECTION.

- 1) GNSS RECEIVER: CARLSON BRX7 BASE/ROVER
REFERENCED TO NAD83 STATE PLANE COORDINATES
USING THE TDOT CORS NETWORK
- 2) TOTAL STATION: TOPCON GPT-8205A
- 3) VERTICAL DATUM: NAVD88 / GEOID2018

SURVEY FOR ALDEN E. GAERTNER
 DIST. 5 WARD 24 CITY OF KNOXVILLE COUNTY KNOX
 ADDRESS 1005 KENESAW AVE
 LOT NO. 1 BLOCK Y UNIT _____
 S/D TALAHY (SHEET 2 OF 2)
 INSTR. PLAT 193109050000001 (A-350B) SCALE 1" = 30' DATE 11/09 2021
 JOB NO. 2108025 ORDERED BY: INDEP.

HINDS SURVEYING CO.

3555 WINDY J FARMS DR. LOUISVILLE, TN 37777

865-588-9799 TNSURVEY@GMAIL.COM
 WWW.HINDSSURVEYING.COM

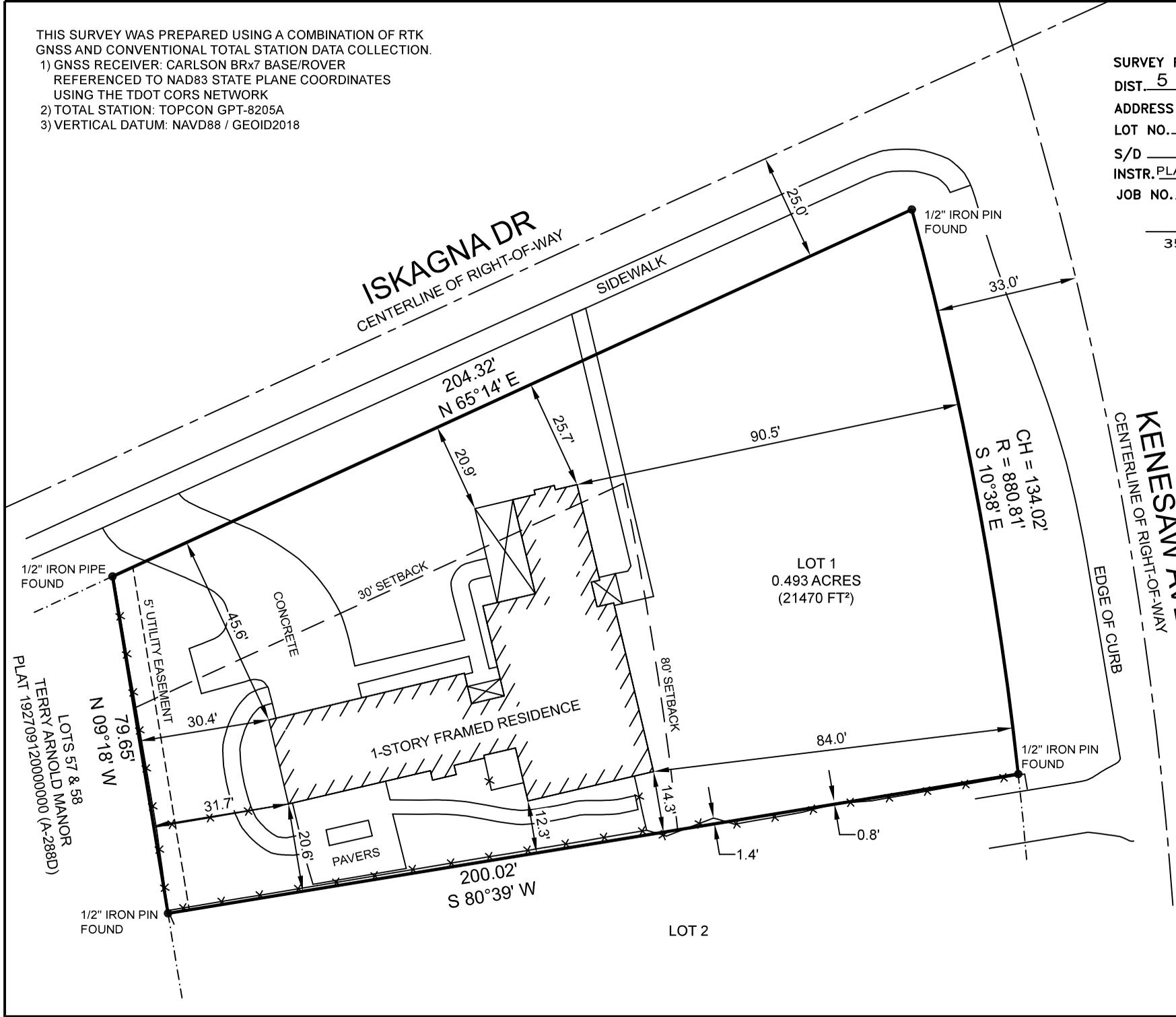
© COPYRIGHT 2021 HINDS SURVEYING CO.
 THIS SURVEY, TITLE, AND PLANS ARE PREPARED BY
 HINDS SURVEYING CO. AND ALL RIGHTS ARE RESERVED. THE USE
 OF THIS SURVEY, TITLE, AND PLANS IS LIMITED TO THE
 PROJECTS LISTED ON THE QUANTITY BILL AND THE
 PERMISSION OF HINDS SURVEYING CO.

**CERTIFICATION OF CATEGORY
 AND ACCURACY OF SURVEY**

I HEREBY CERTIFY THAT THIS IS A CATEGORY
 1 SURVEY AND THE RATIO OF PRECISION OF
 THE UNADJUSTED SURVEY IS 1:10,000 AS
 SHOWN HEREON

SURVEYOR: STANLEY E. HINDS
 TN REG. NO. 967

I HEREBY CERTIFY THAT THIS SURVEY HAS
 BEEN MADE USING THE LATEST RECORDED
 DEED AND OTHER DOCUMENTS FURNISHED BY
 THE ATTORNEY AND THAT THERE ARE NO
 ENCROACHMENTS OR PROJECTIONS OTHER
 THAN THOSE SHOWN AND THAT THE SURVEY
 IS CORRECT TO THE BEST OF MY KNOWLEDGE
 AND BELIEF.



1/2" IRON PIPE FOUND
 5' UTILITY EASEMENT
 79.65'
 N 09°18' W
 LOTS 57 & 58
 TERRY ARNOLD MANOR
 PLAT 192709120000000 (A-288D)
 1/2" IRON PIN FOUND

LOT 2

N 09°18' W

79.65'

BASEMENT

30.4'

31.7'

20.6'

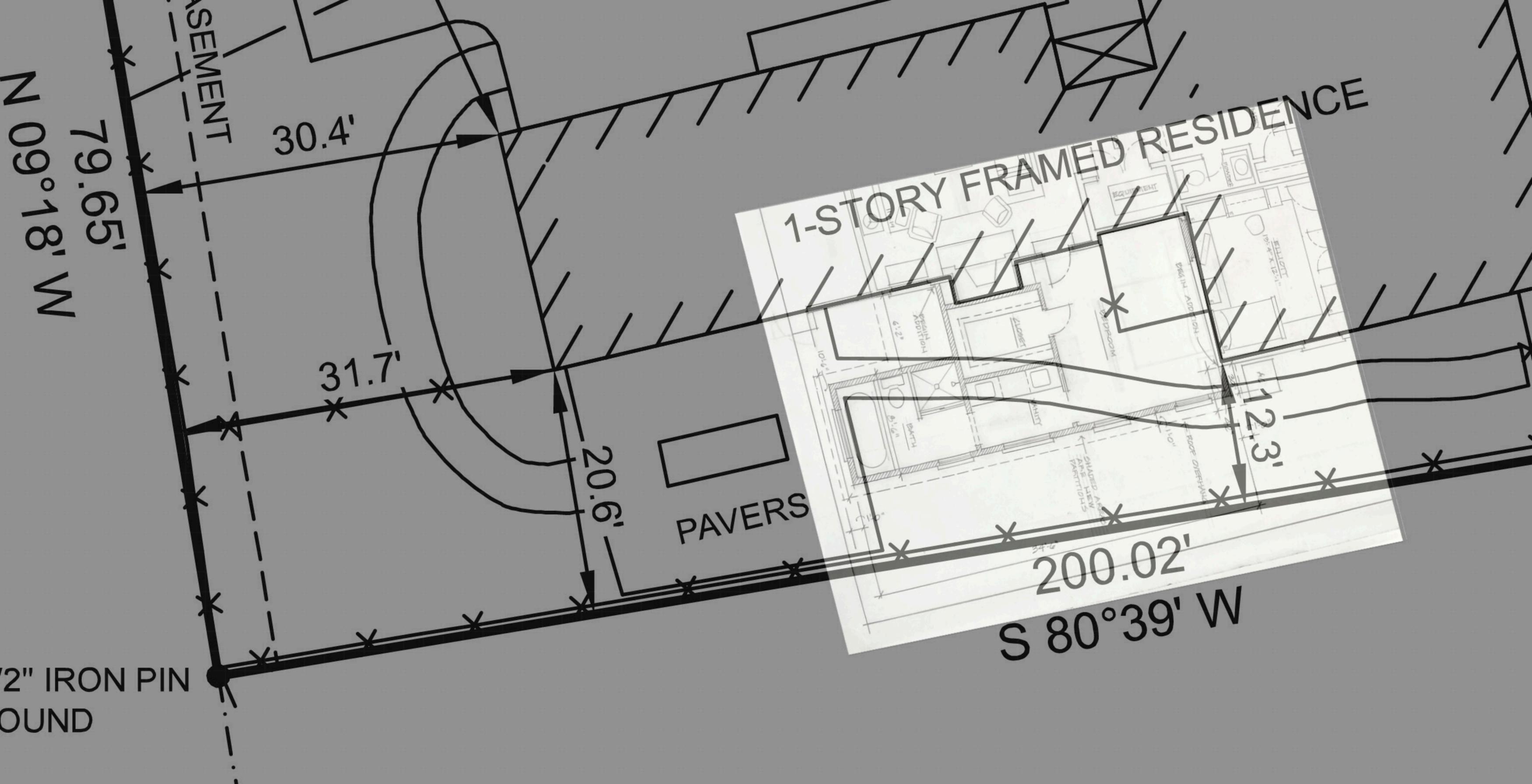
PAVERS

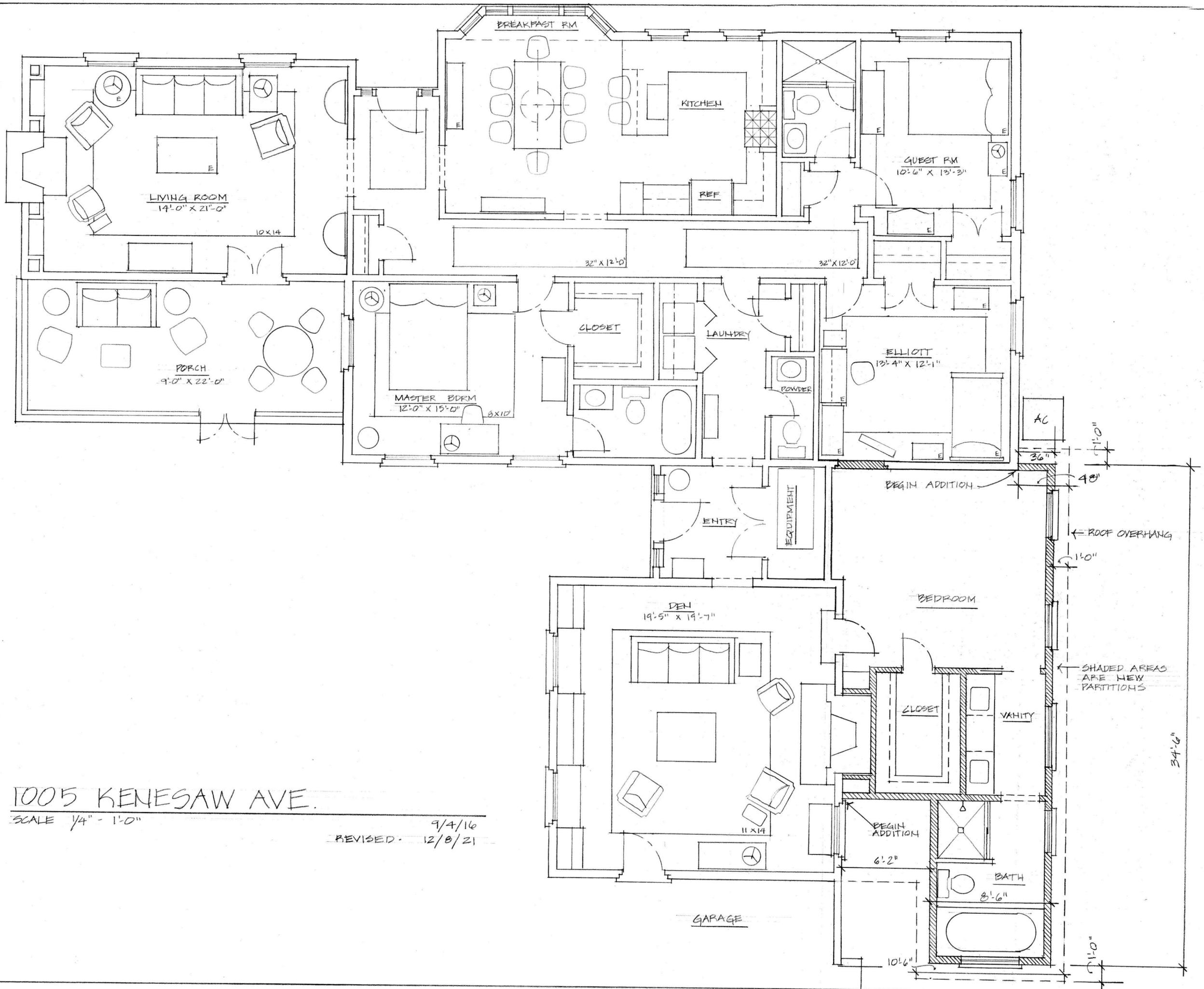
1-STORY FRAMED RESIDENCE

200.02'

S 80°39' W

2" IRON PIN
GROUND



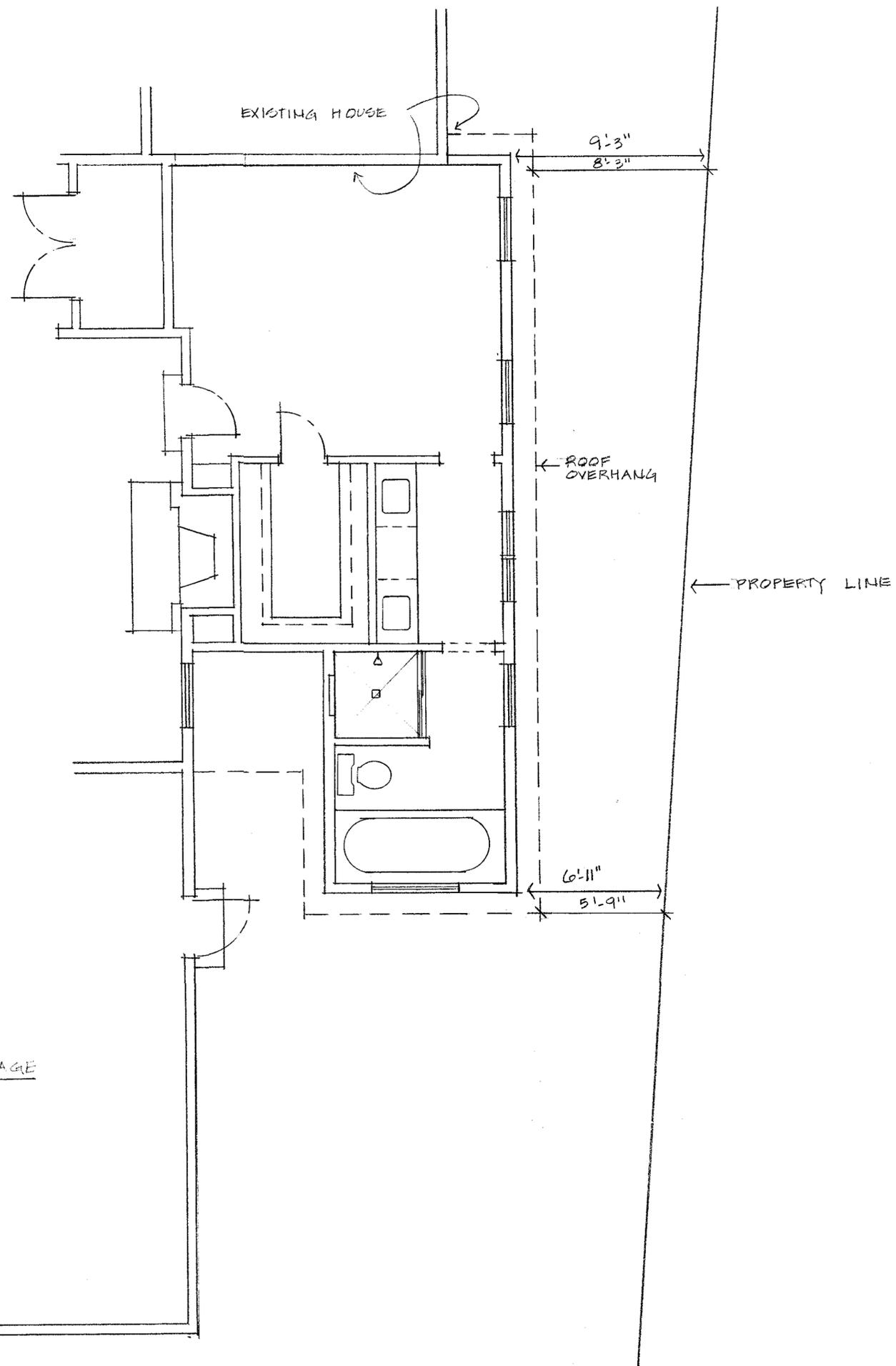


1005 KENESAW AVE.

SCALE 1/4" = 1'-0"

9/4/16

REVISED 12/8/21



1005 KENESAW		
SCALE: 1/4" = 1'-0"	APPROVED BY:	DRAWN BY CHG
DATE: 12/10/21		REVISED
MASTER BEDROOM ADD.		
		DRAWING NUMBER