

BOARD OF ZONING APPEALS

NAME OF APPLICANTMcCarty Holsapple McCarty**FILE NO.**12-H-20-VA

The applicant is: ☐ Owner ☐ Tenant ☐ Contractor ☒ Other Architect

This is a request for:☒ Zoning Variance (Building Permit Denied)☐ Extension of Non-Conforming Use☐ Appeal of Administrative Official's Decision☐ Map Interpretation**PROPERTY INFORMATION**Street Address 1650 HURON ST /1617 SAINT MARY ST☐ Temporary ☒ OfficialZoning District O-1Zoning Map Number 81Ward and Block 17 /17544Lot/Parcel 081EH01601, 081EH01602

This proposal pertains to: ☐ New Structure ☐ Extension of Existing Structure ☒ Off-Street Parking

☐ Signage ☐ Other _____

Is a plat required?

☐ Yes☒ No**DESCRIPTION OF PROPOSAL**

This parking garage is part of the renovation of an existing facility. While the majority of the garage is in compliance with the City of Knoxville Zoning Ordinance, there are some spaces that do not meet the minimum dimensions. This project was submitted prior to the change to the new zoning code.

Describe specific ways in which this proposal fails to meet the requirements of the City of Knoxville Zoning Ordinance (please reference Section/Article of the Ordinance): _____

We are requesting variances for parking aisle widths as stated in the Knoxville Zoning Ordinance, Article 5, Section 7. Reference the attached drawings and comments for Knoxville Plans Review. Based on the structural constraints of the existing parking structure, it is not feasible to meet aisle width minimums in the locations identified. A variance is also requested for reduced drive aisle widths to allow secure separation between the two departments using the garage facilities on Parking Level P2.

CITY OF KNOXVILLE BUILDING INSPECTOR**DATE**

12-A-20-VA

APPLICANT'S HARDSHIP

Which special circumstance(s) of the property do not apply generally in the zoning district?

☒ Size ☐ Elevation ☐ Slope ☐ Shape ☐ Soil ☐ Subsurface ☐ Other _____

What legal hardship(s) prevents any reasonable use of your land under the terms of the Zoning Ordinance?

I affirm that the hardship described above was not created by anyone having an ownership interest in the property since 1962. ☒ Yes ☐ No If answering no, explain: _____

Are the conditions on your property the result of other man-made changes (such as the relocation of a road or highway)? ☒ No ☐ Yes If answering yes, describe: _____

APPLICANT'S AUTHORIZATION

I hereby certify that I am the authorized applicant, representing all nonexempt owners involved in this request or holders of options on same, as listed below.

Signature: Lauren R Bush 11/16/2020

Address to which all correspondence should be mailed regarding this application:

Name (Print)	Street Address	City	State	Zip	Telephone
Lauren Bush	550 W. Main Street, Suite 300,	Knoxville, TN,		37902	865.357.5439

Names of all property owners or holders of option on same must be listed here:

Name (Print)	Street Address	City	State	Zip	Telephone
City of Knoxville	400 Main Street,	Knoxville, TN,		37902	

Date Filed:	Fee Paid:
Councilmanic District:	MPC Planning Sector:
General Location Description	
Size: Acres	Size: Sq. Ft.

METROPOLITAN PLANNING COMMISSION

DATE

File # 12-H-20-VA



CITY OF KNOXVILLE

BOARD OF ZONING APPEALS APPLICATION

*****OFFICE USE ONLY*****

Is a plat required? Yes ☐ No ☒

Small Lot of record? ☐

VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):

Reduce the minimum drive aisle width for two-way access from 26 feet to 25 feet 6 inches in an existing parking garage for plans submitted under the old City of Knoxville Zoning Ordinance (Article 5.7.E; Table 3).

REVISED

PROJECT INFORMATION

Date Filed 11-16-2020

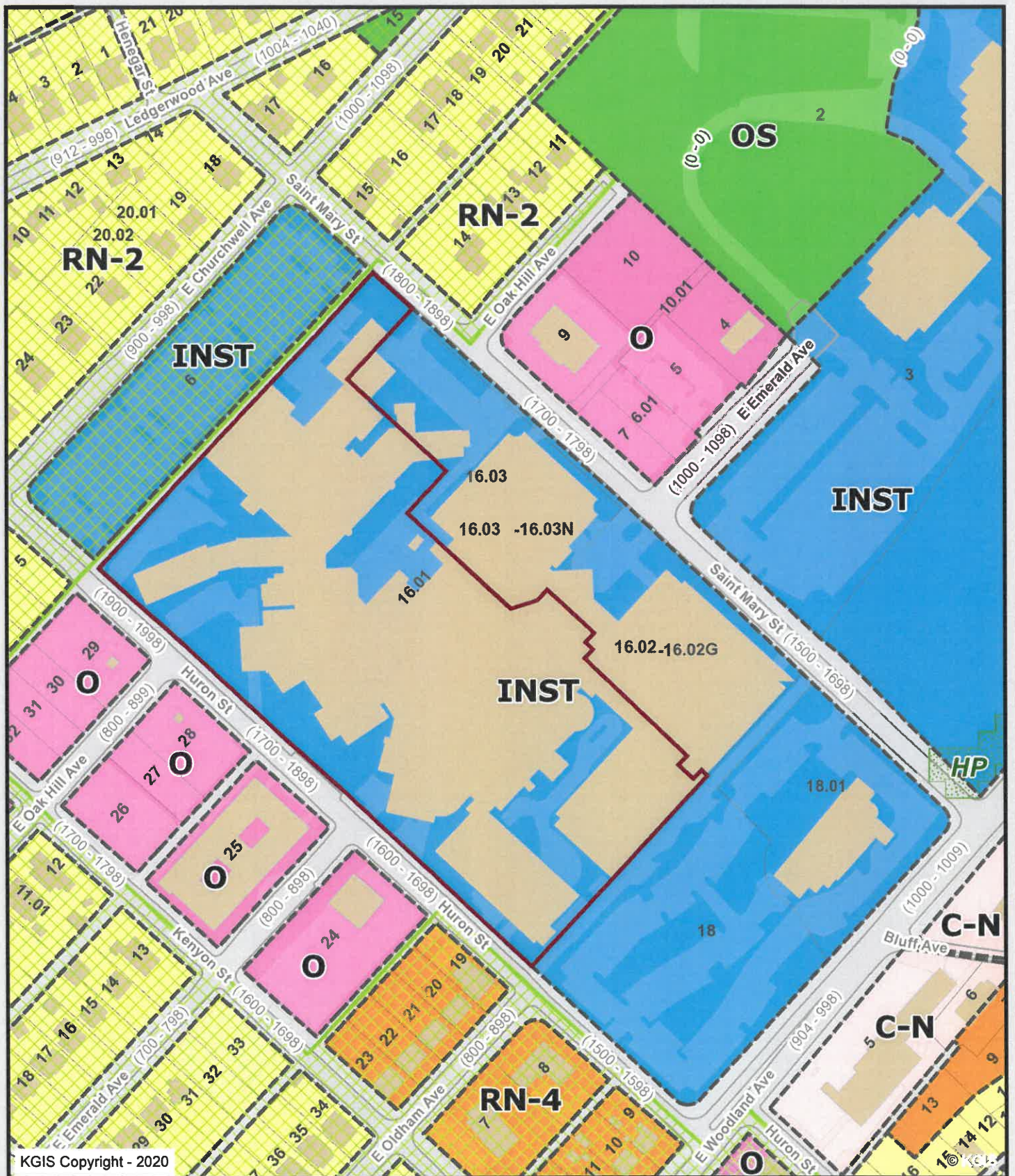
Fee Amount \$250

Council District 5

BZA Meeting Date 12-17-2020

PLANS REVIEWER Bryan Berry

DATE 11-24-2020



1650 Huron St. & 1617 Saint Mary St.

12-H-20-VA
McCarty Holsaple McCarty

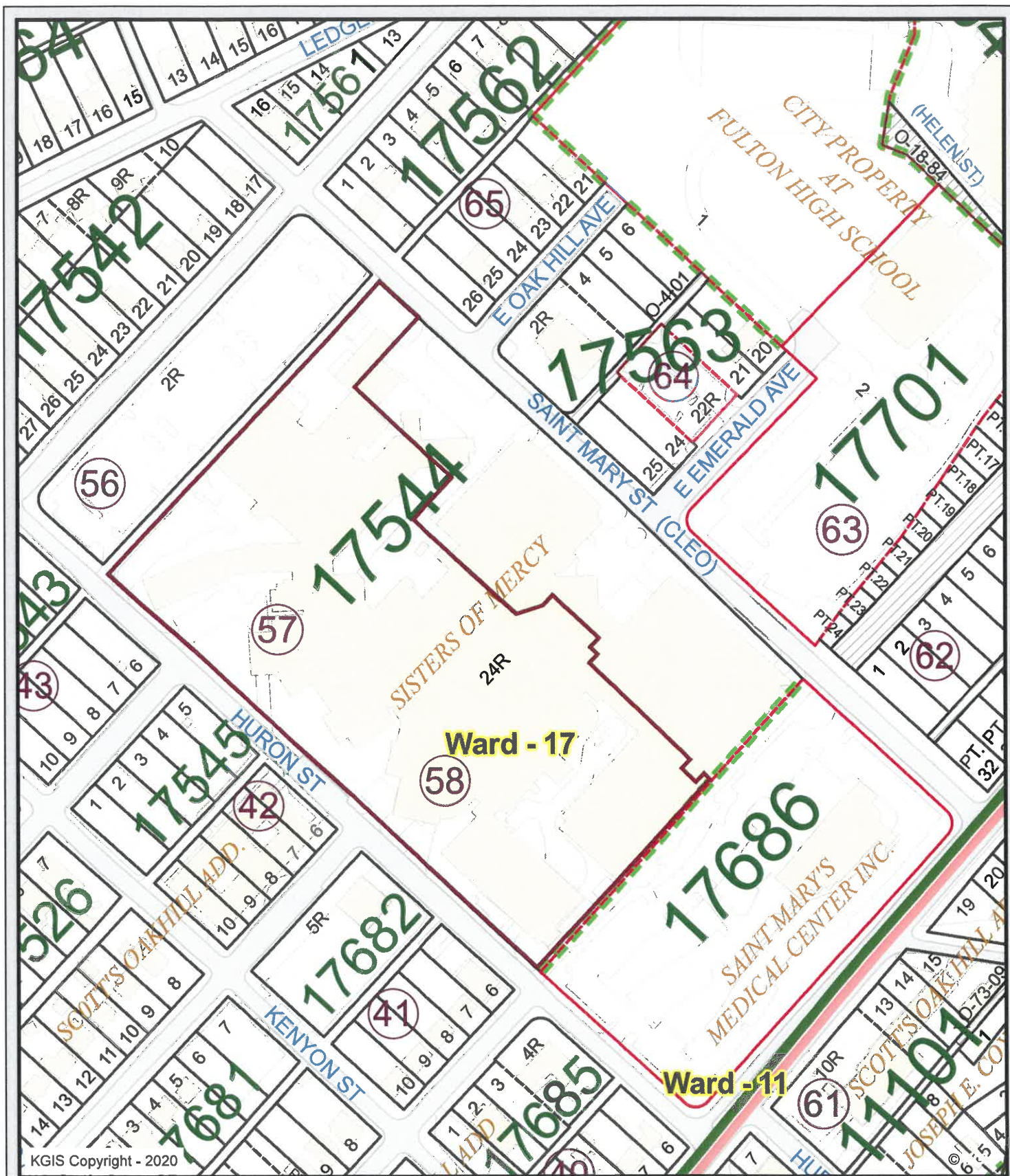
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1650 Huron St. & 1617 Saint Mary St.

12-H-20-VA

McCarty Holsaple McCarty

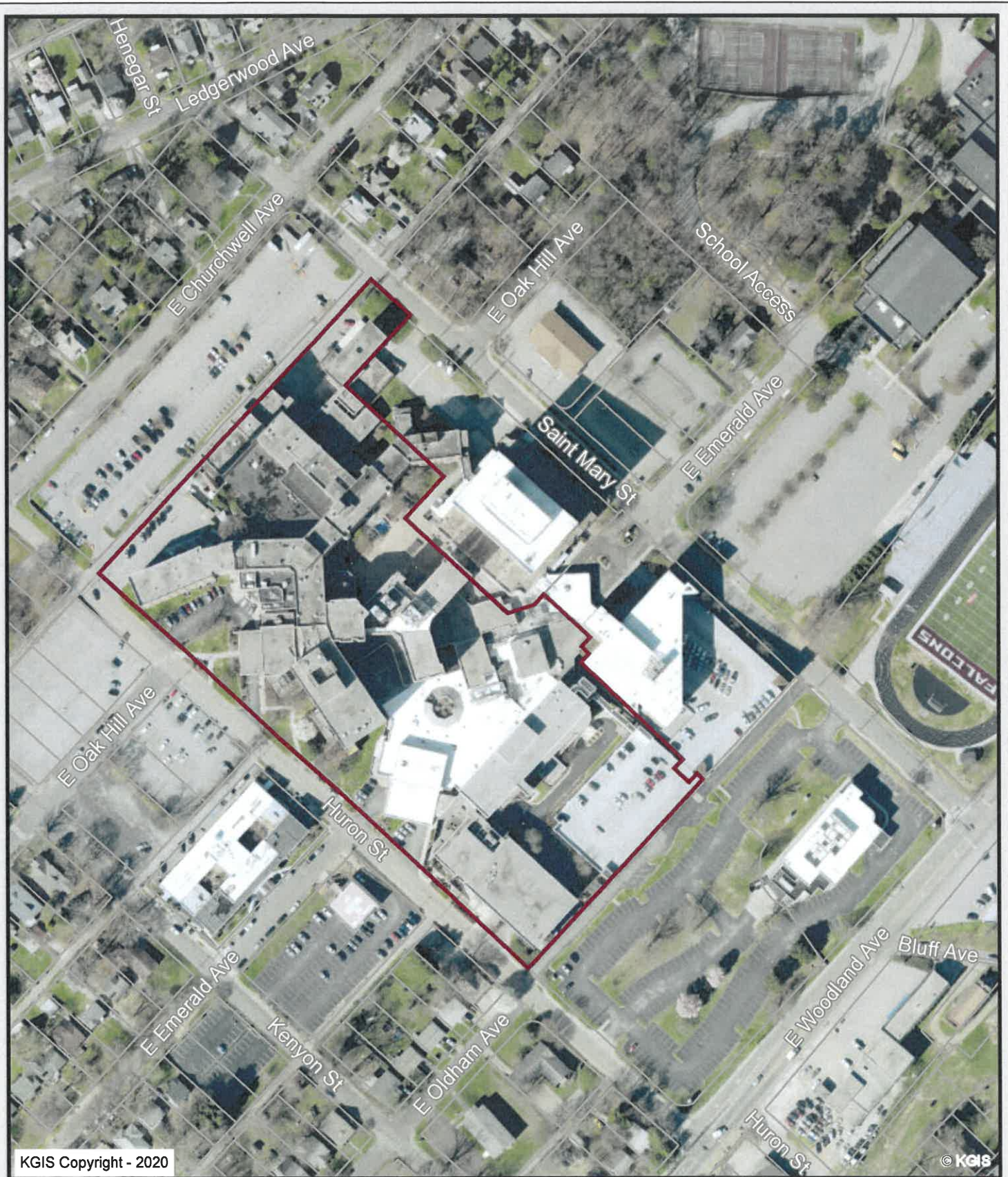
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12-H-20-VA

McCarty Holsaple McCartney

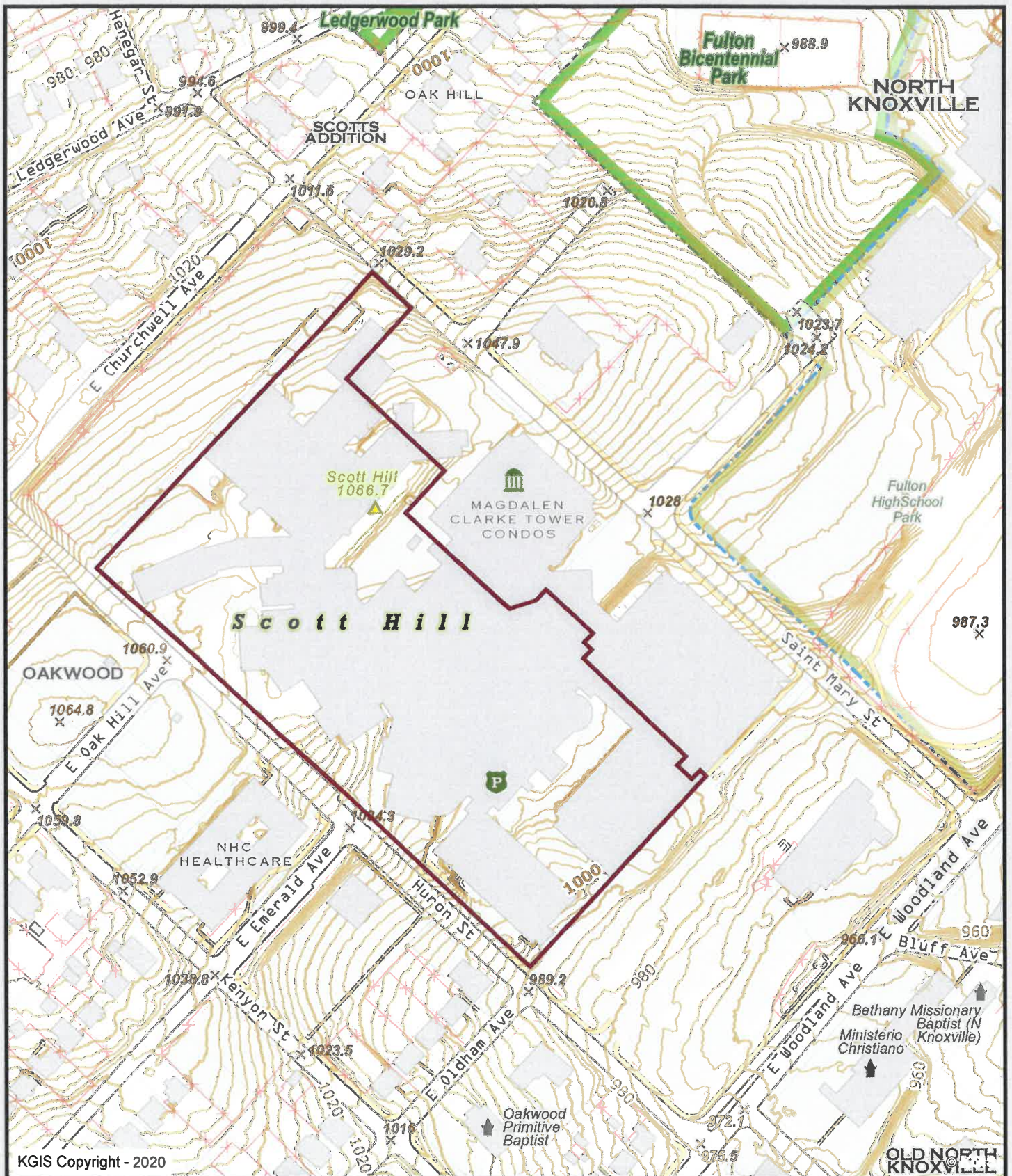
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1650 Huron St. & 1617 Saint Mary St.

12-H-20-VA

McCarty Holsaple McCarty

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City of Knoxville
DEPARTMENT OF OPERATIONS
Plans Review & Inspection Division (865)215-2999

12-H-20-VA

Page 2 of 43

CON0264661

Date Entered: 10/16/2020

Reviewer: JTF

Action: Approved As Noted

☐ SITE - After the current comments are addressed, additional comments based on changed and new information may be made.

☐ Reviewer Comments: Please see new comment at the bottom of the list.

CON0264675

Date Entered: 10/16/2020

Reviewer: JTF

Action: Disapproved

☐ SITE - Because the development meets redevelopment, all vehicular use areas must meet the parking requirements of Article V Section 7 of last year's Zoning ordinance. Provide information and dimensions on all parking areas and driveways to ensure compliance.

☐ Reviewer Comments: No dimensions provided for the parking garage.

CON0264684

Date Entered: 10/16/2020

Reviewer: JTF

Action: Approved As Noted

☐ SITE - Submit pipe, HGL, and catch basin inlet calculations. (as necessary)

☐ Reviewer Comments: This will be reviewed and permitted under R20-1175.

CON0264686

Date Entered: 10/16/2020

Reviewer: JTF

Action: Approved As Noted

☐ SITE - A Special Pollution Abatement Permit (SPAP) will be required for this project. Water quality unit will be reviewed/approved with SPAP. Include necessary calculations and specifications with the SPAP submittal. Please contact the Engineering Department for additional requirements, or view the SPAP Applications M2 through M5 online at http://www.knoxvilletn.gov/government/city_departments_offices/engineering/stormwater_engineering_division/land_development_manual/.

Treatment devices must be able to treat the 1-year storm event (2.5 inches) and bypass either the 100-year design storm or the capacity of the pipe (whichever is less). Provide appropriate calculations, details, and manufacturers recommendations.

☐ Reviewer Comments: This will be reviewed and permitted under R20-1175.

CON0264687

Date Entered: 10/16/2020

Reviewer: JTF

Action: Approved As Noted

☐ SITE - Provide site-wide first flush treatment.

CON0264688

Date Entered: 10/16/2020

Reviewer: JTF

Action: Approved As Noted

☐ SITE - Indicate the extents of a "Water Quality Facility Easement" for all water quality devices. Water quality facility easements must be a minimum of 20' by 20' square.

CON0264690

Date Entered: 10/16/2020

Reviewer: JTF

Action: Disapproved

☐ SITE - A performance and indemnity agreement(bond) will be required for this project.

CON0264691

Date Entered: 10/16/2020

Reviewer: JTF

Action: Approved As Noted

☐ SITE - A covenant for permanent maintenance of stormwater facilities is required.

☐ Reviewer Comments: This will be reviewed and permitted under R20-1175.

CON0264692

Date Entered: 1/13/2020

Reviewer: JTF

Action: Disapproved

☐ SITE - A pre-construction conference is required to be scheduled prior to issuance of a permit. To schedule a pre-construction conference please contact the project's engineering inspector at (865) 254-8056.



Project Information:

19018

COK SAFETY
BUILDING

900 East Oak Hill Ave, Knoxville, TN

Best:

Consultant:

Architects Design Group

#	ISSUE	DATE

Issue Date:	JULY 31, 2020
PMC:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	Author
Checked By:	BP
Drawing Info:	

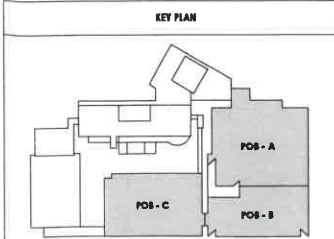
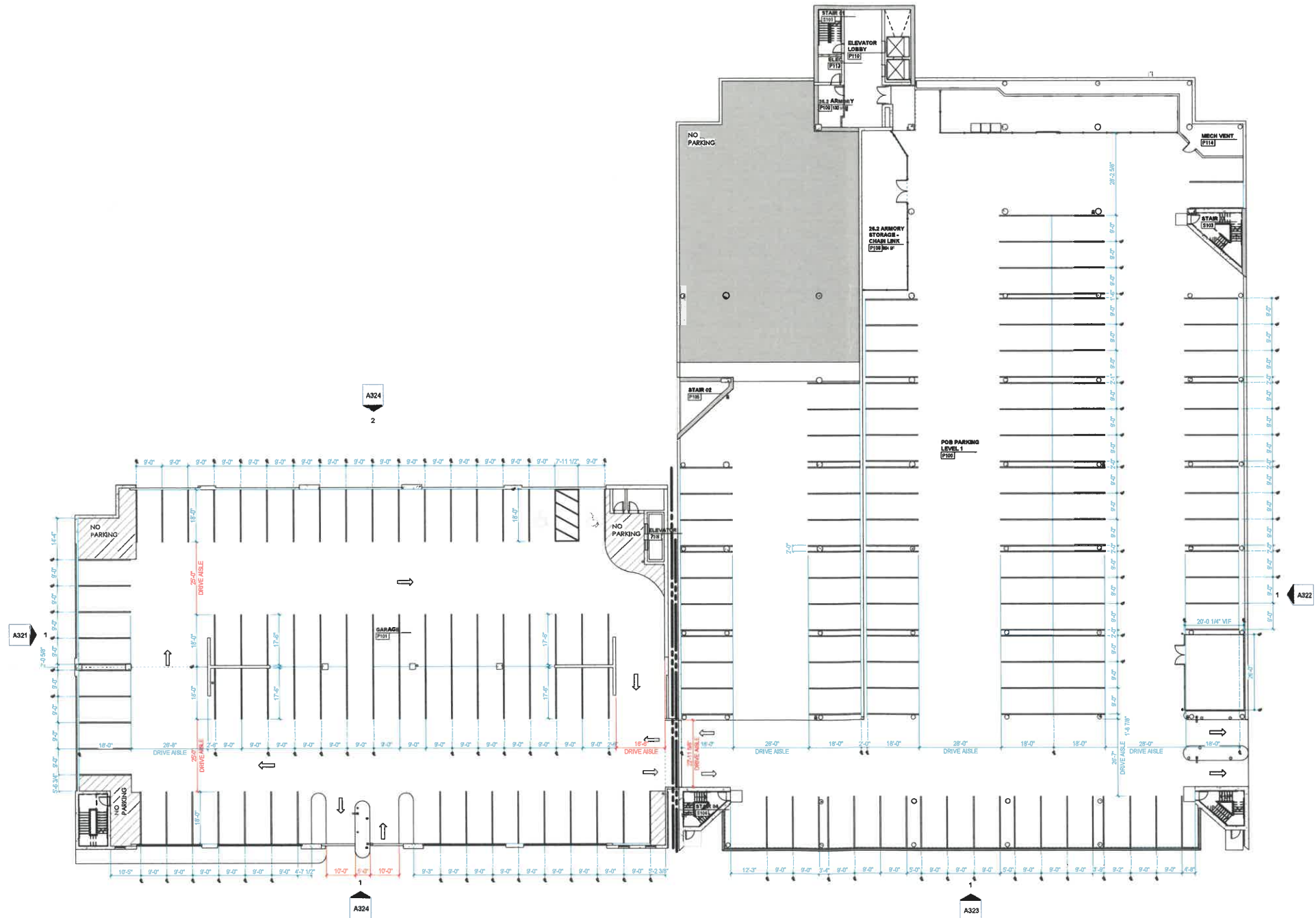
A020

POB - COMPOSITE
PLAN LEVEL P1

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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

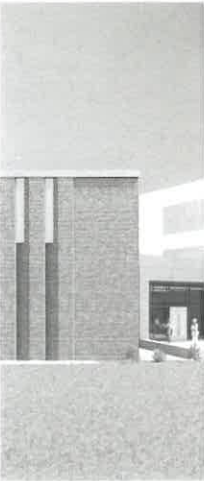
- FLOOR PLAN GENERAL NOTES
1. Refer to furniture plans for owner provided furnishings.
 2. Provide non-combustible blocking as required for all wall cabinets, wall hung sinks, shelving standards, countertops, toilet accessories, supports, and equipment per manufacturers recommendations.
 3. All partition drywall joints shall be mudded, taped and sanded smooth with no visible joints to Level 4 finish.
 4. Provide caulking at intersection of all dissimilar materials.
 5. GC shall provide non-combustible blocking and power/function box at all wall-mounted TVs. coordinate final locations with furniture & equipment and technology drawings, and owner.
 6. Stagger all back to back outlets at sound and security walls.
 7. The rough opening of a new door graphically shown in the corner of a room undimensioned shall be 0" or 4" (as graphically indicated on plans) from the inside corner of stud, unless noted or dimensioned otherwise on the floor plan.
 8. The rough opening of a new door graphically shown in the center of a wall undimensioned shall be centered on the wall, unless noted or dimensioned otherwise on the floor plan.
 9. Provide grommet in casework countertops at all locations where power and/or communications are located below - refer to electrical
 10. All equipment opening dimensions and details shall be verified by the manufacturer prior to the execution of any work affected by the same equipment.
 11. The finish face of material of new partitions shall align on both sides of the partition with the face of the materials on existing columns, walls, or partitions, unless noted otherwise.
 12. All piping above grade and inside the building required by the Construction Documents shall be installed in areas where it will be concealed. The Contractor shall consult with the Architect and coordinate with other trades to provide furring for piping installed in finish areas.



12-H-20-VA

POB - COMPOSITE PLAN PARKING LEVEL P1
1/16" = 1'-0"

11/16/2020 11:58:58 AM



Project Information:

19018

COK SAFETY
BUILDING

900 East Oak Hill Ave, Knoxville, TN

Best

Consultant:

Architects Design Group

#	ISSUE	DATE

Issue Date:	JULY 31, 2020
PMC	DAVID COLLINS
PM	JOHN THURMAN
PA	LAUREN BUSH /
Drawn By:	Author
Checked By:	BP
Drawing Info:	

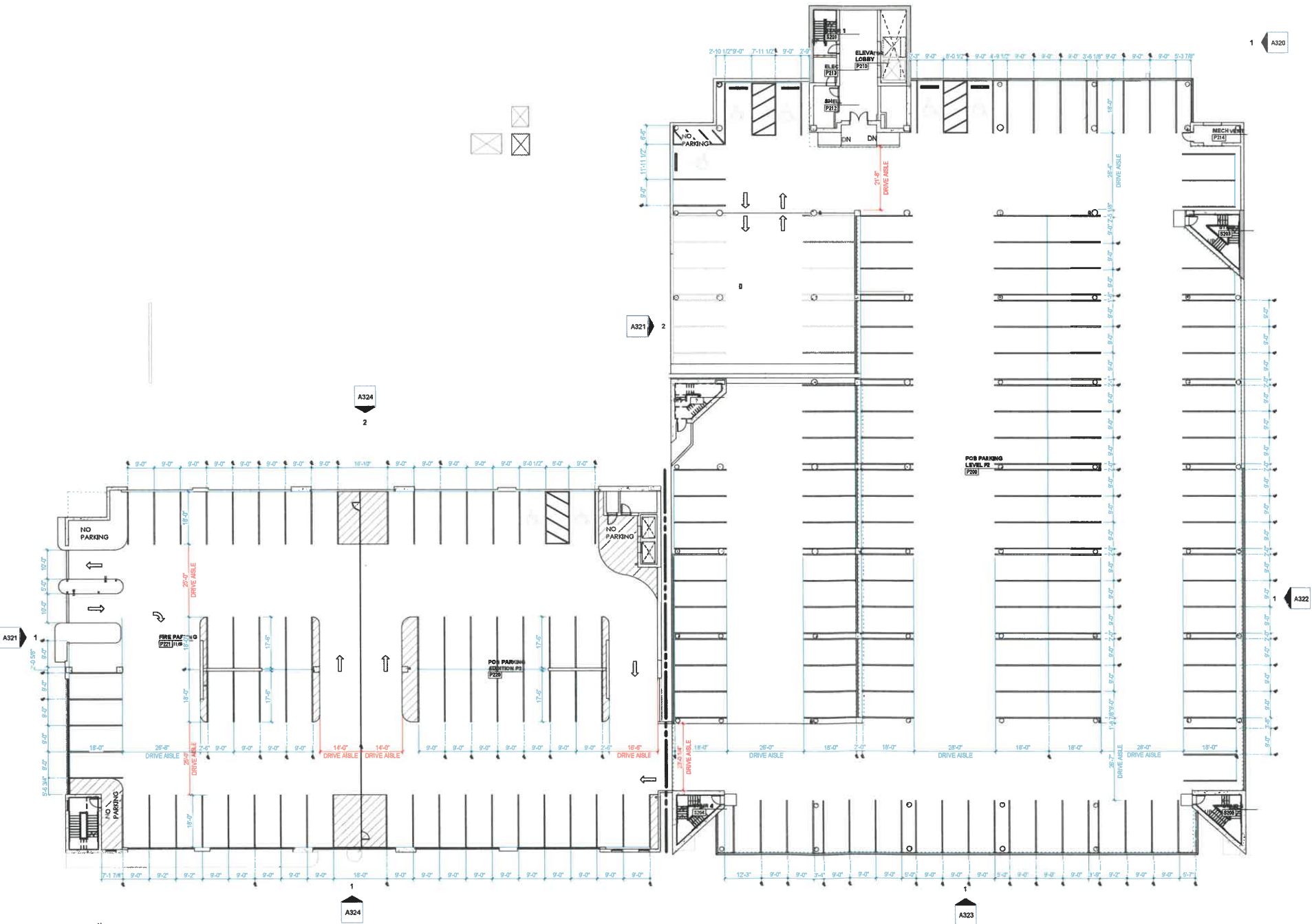
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POB - COMPOSITE
PLAN LEVEL P2

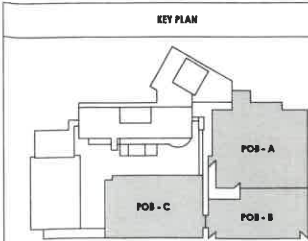
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WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

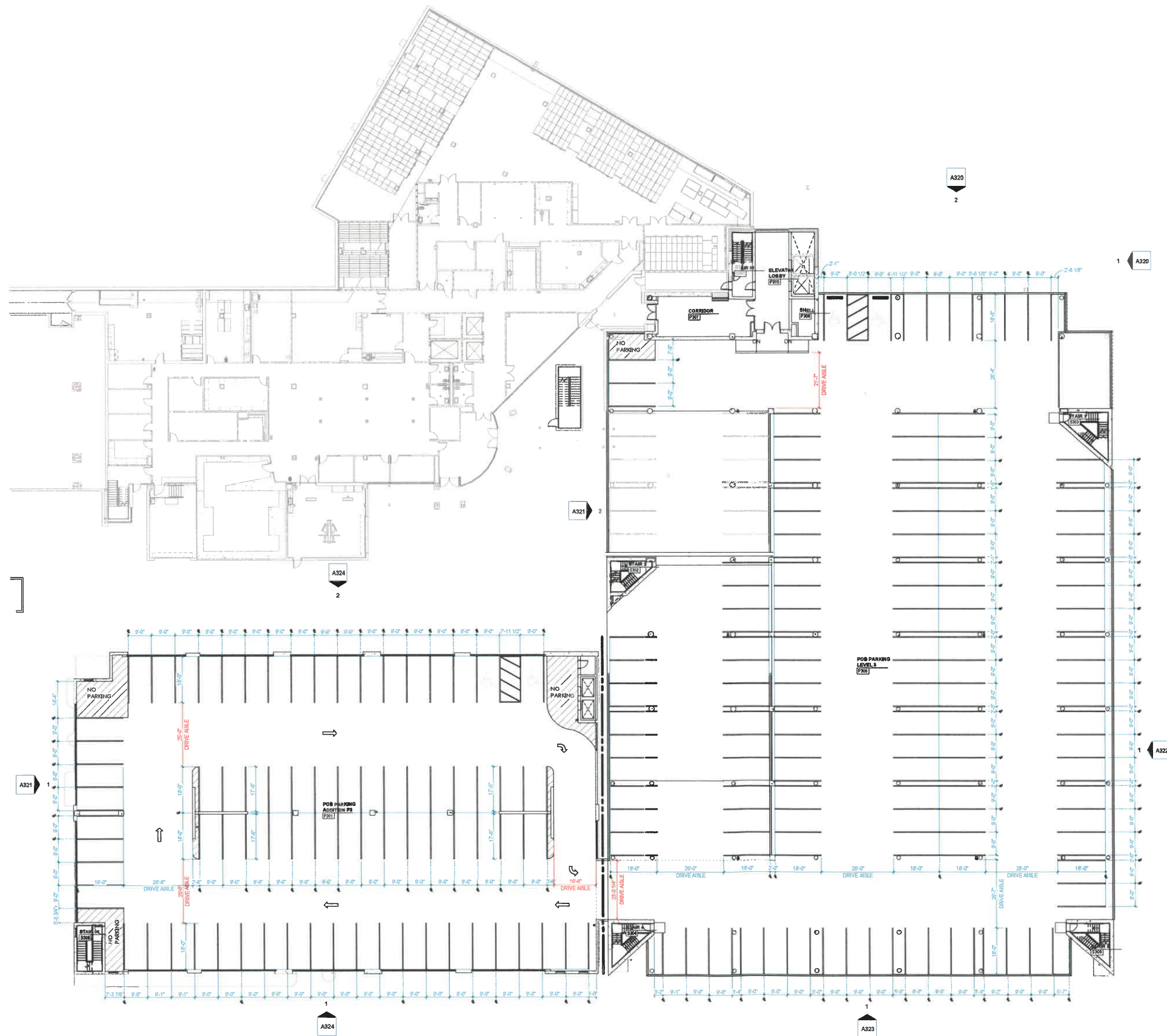
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3.	All partition drywall joints shall be mudded, taped and sanded smooth with no visible joints to Level 4 finish.
4.	Provide caulking at intersection of all dissimilar materials.
5.	GC shall provide non-combustible blocking and power/function box at all wall-mounted TVs. coordinate final locations with furniture & equipment and technology drawings, and owner.
6.	Stagger all back to back outlets at sound and security walls.
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11.	The finish face of material of new partitions shall align on both sides of the partition with the face of the materials on existing columns, walls, or partitions, unless noted otherwise.
12.	All piping above grade and inside the building required by the Construction Documents shall be installed in areas where it will be concealed. The Contractor shall consult with the Architect and coordinate with other trades to provide furring for piping installed in finish areas.



POB - COMPOSITE PLAN PARKING LEVEL P2
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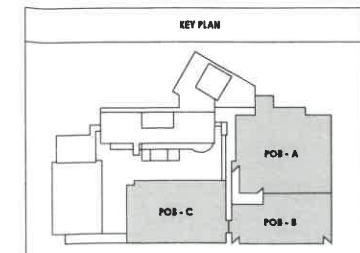


12-H-20-VA



WALL LEGEND	
	2 HR PARTITION (ASSEMBLY VARIES)
	1 HR PARTITION (ASSEMBLY VARIES)
	BALLISTIC LEVEL 3 PARTITION (ASSEMBLY VARIES)
	NEW PARTITION (ASSEMBLY VARIES)
	EXISTING PARTITION
	EXISTING PARTITION TO BE DEMOLISHED

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POB - COMPOSITE PLAN PARKING LEVEL P3
1/18" = 1'-0"

12-H-20-VA

MHM

McCarthy Holteapple McCarthy, Inc.
550 W. Main St., Suite 300
Knoxville, TN 37902
1.865.544.2000
www.mhmlinc.com



Project Information:
19018

COK SAFETY BUILDING
900 East Oak Hill Ave, Knoxville, TN

Guest

Consultant:
Architects Design Group

#	ISSUE	DATE

Issue Date:	JULY 31, 2020
PMC:	DAVID COLLINS
PM:	JOHN THURMAN
PA:	LAUREN BUSH /
Drawn By:	Author
Checked By:	BP
Drawn By:	

A022
POB - COMPOSITE
PLAN LEVEL P3
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Project Information

19018

**COK SAFETY
BUILDING**

900 East Oak Hill Ave, Knoxville, TN

Sent

Consultant:

 Architects Design Group

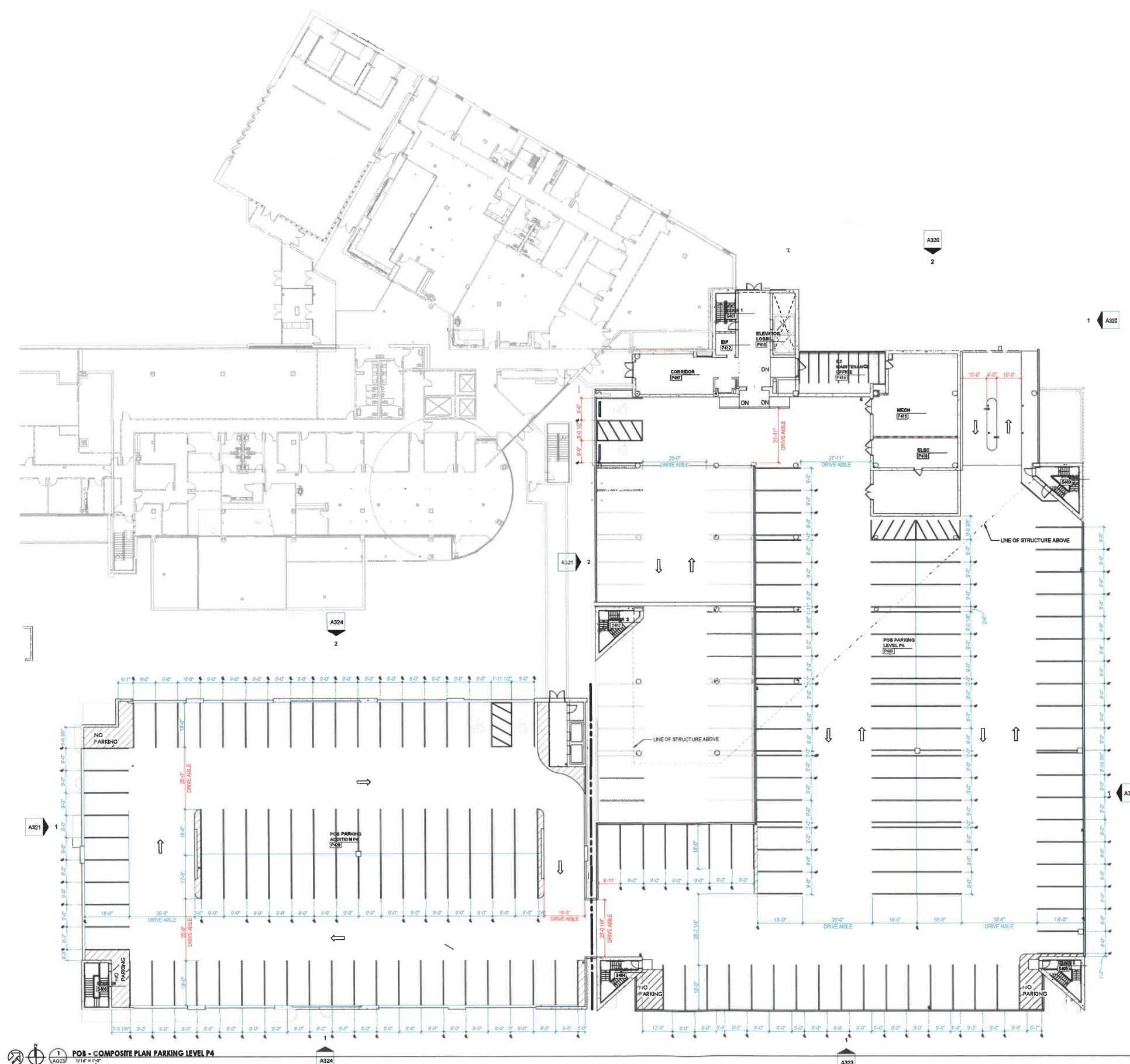
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Issue Date:	JULY 31, 2011
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PM	JOHN THURMAN
PA	LAUREN BUSBY
Drawn By:	AUSTIN
Checked By:	
Drawing Info:	

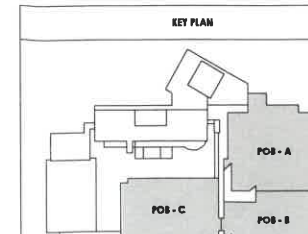
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POB - COMPOSITE
PLAN LEVEL P4

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12-11-20-VA



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