



BOARD OF ZONING APPEALS APPLICATION

APPLICANT INFORMATION	APPLICANT IS:	THIS PROPOSAL PERTAINS TO:
Name Sycamore Sign Service LLP	Owner <input type="checkbox"/>	New Structure <input type="checkbox"/>
Street Address 3315 Riverside Drive	Contractor <input checked="" type="checkbox"/>	Modification of Existing Structure <input type="checkbox"/>
City, State, Zip Knoxville TN 37914	Tenant <input type="checkbox"/>	Off Street Parking <input type="checkbox"/>
Phone Number 865 247 0466	Other <input type="checkbox"/>	Signage <input checked="" type="checkbox"/>
Email julie.davis@sycamoresignservice.com		Other <input type="checkbox"/>

THIS IS A REQUEST FOR:

- Zoning Variance (Building Permit Denied)
 Extension of Non-Conforming Use/or Structure
 Appeal of Administrative Official's Decision
 Map Interpretation

PROPERTY INFORMATION

Street Address Parkwest Medical Center 9352 Park W Blvd
 City, State, Zip Knoxville TN 37923
 Parcel # (see KGIS.org) 119 01837
 Zoning District (see KGIS.org) PC-1

VARIANCE REQUIREMENTS

City of Knoxville Zoning Ordinance Article 7, Section 2

The City of Knoxville Board of Zoning Appeals shall have the power and authority to grant variances from terms of this ordinance according to the procedure and under the restrictions set out in this section.

The purpose of the variance is to modify the strict application of the specific requirements of this ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his property as the zoning ordinance intended.

DESCRIPTION OF APPEAL

Describe your project and why you need variances.

Due to the hospital expansion and rerouting of the street, the location for the new monument sign for the main entrance of the hospital is limited due to a retaining wall for the new parking area. We are asking for a variance in the setback from 15' from the edge of the pavement to 10'.

REVISED

Describe hardship conditions that apply to this variance.

The rerouting of the street to a traffic circle and new parking area does not allow for the 15' from the edge of the pavement.

This is the main entrance of the hospital and needs to be branded.

APPLICANT AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request and that all owners have been notified of this request in writing.

APPLICANT'S SIGNATURE Julie Shelby-Davis

Digitally signed by Julie Shelby-Davis
DN: cn=Julie Shelby-Davis, o, ou, email=julie.davis@sycamoresignservice.com, c=US
Date: 2019.06.24 12:28:20 -0400

DATE 6/17/2019

File # 7-E-19-VA



BOARD OF ZONING APPEALS APPLICATION

*******OFFICE USE ONLY*******

Is a plat required? Yes No

VARIANCE REQUEST(S) WITH ORDINANCE CITATION(S):

Reduce the minimum required setback for a detached sign in the PC-1 zone from 15' from edge of pavement to 10'.

Article 8, Section 7.1.a.

PROJECT INFORMATION

Date Filed 6-17-19

Fee Amount \$500

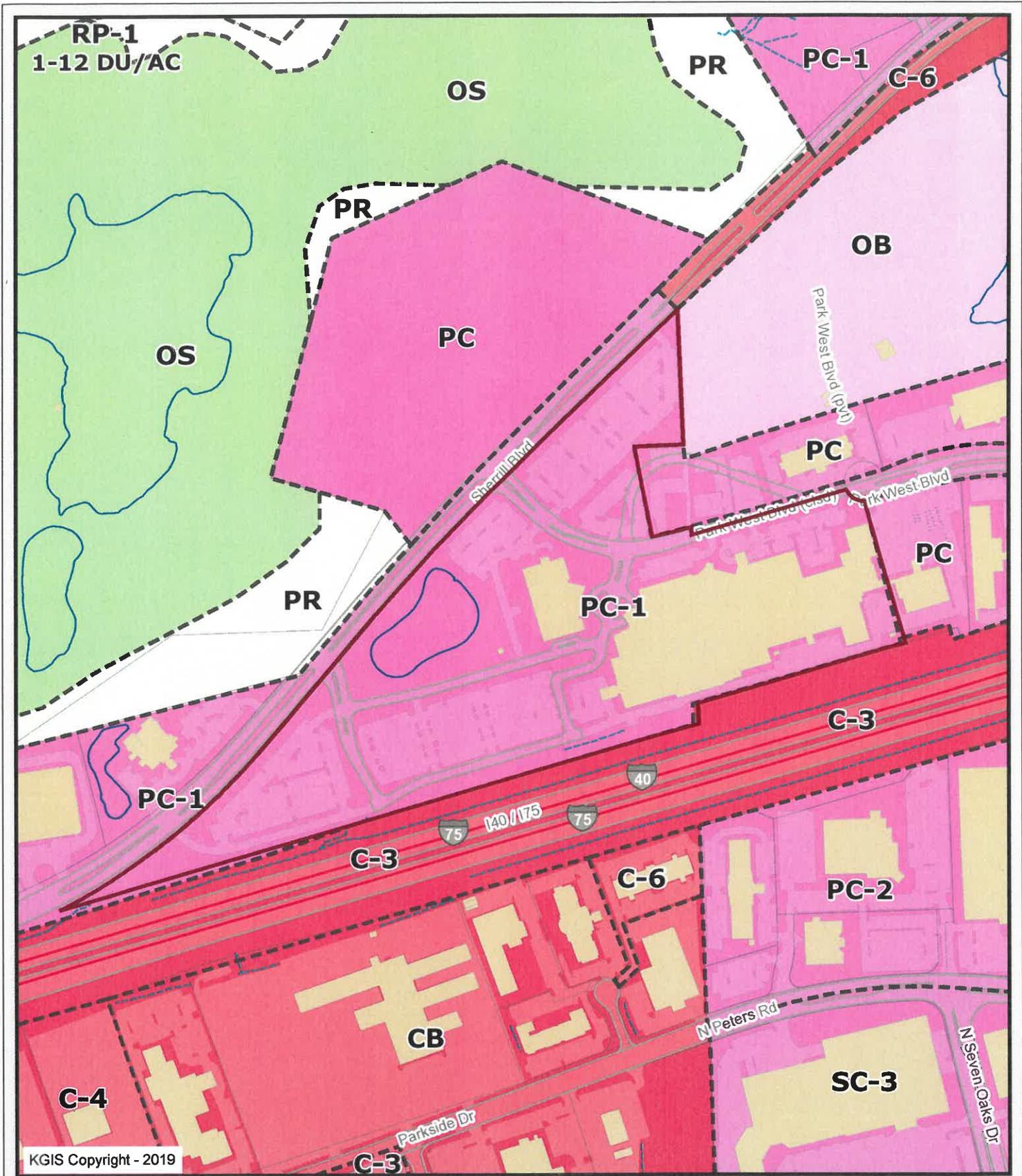
pd 6/19/19 ck gff

Council District 2

BZA Meeting Date 7-18-19

PLANS REVIEWER Rebecca Johnson

DATE 6-17-19



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9352 Park W. Blvd

7-E-19-VA

Sycamore Sign Service

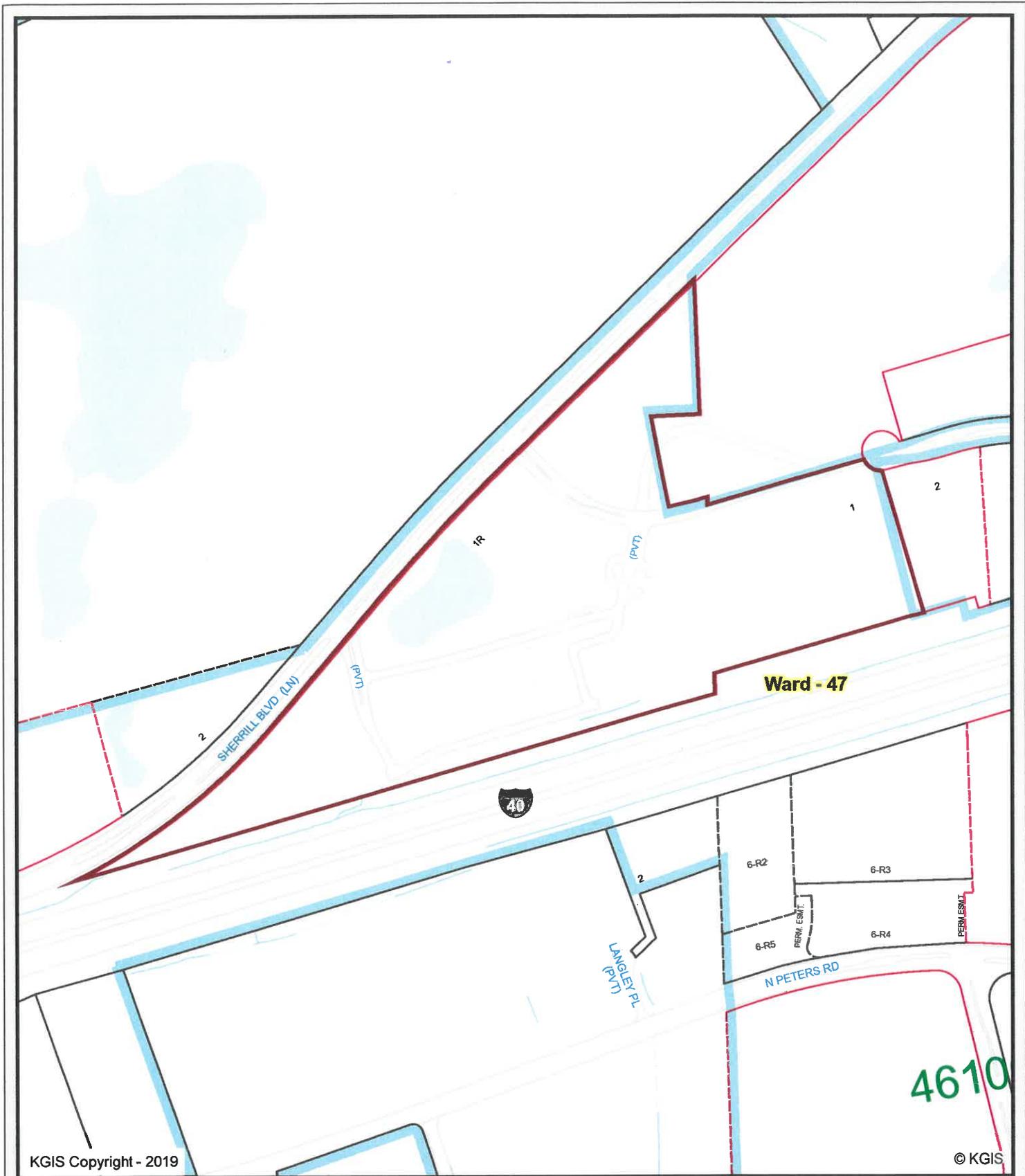
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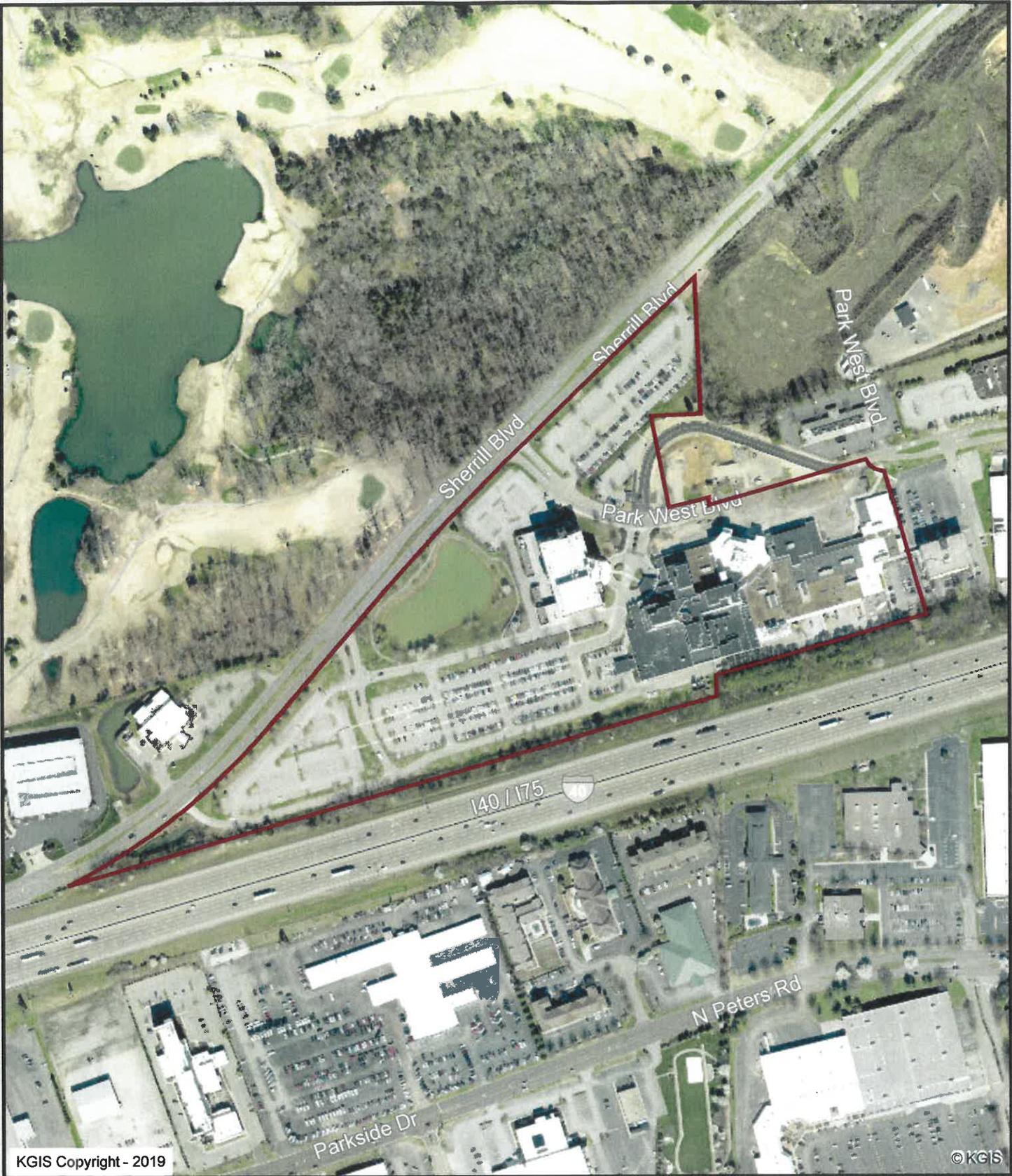
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9352 Park W. Blvd

7-E-19-VA

Sycamore Sign Service

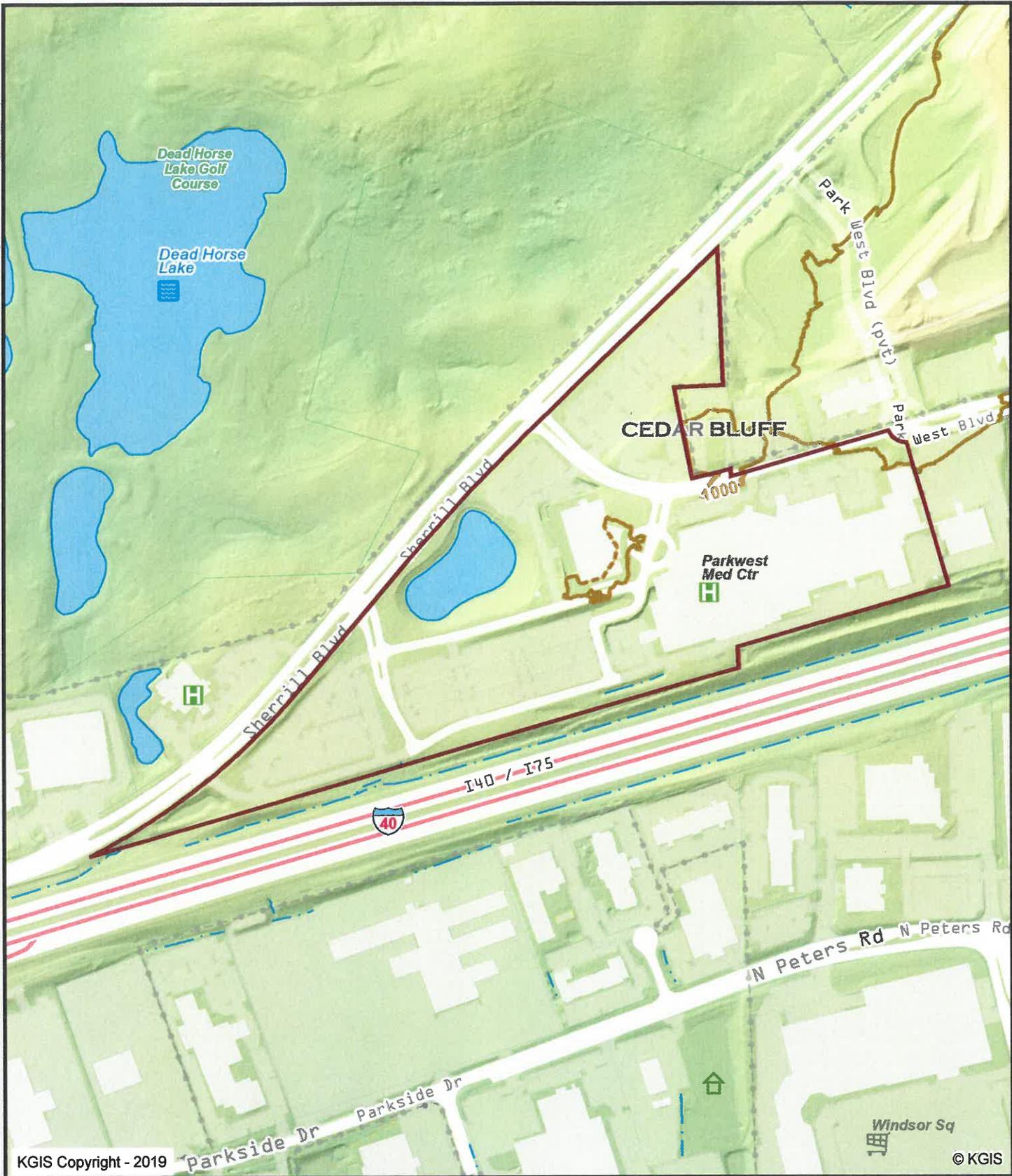
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July 5, 2019

Mr. Scott Elder
Board of Zoning Appeals
Room 475, City-County Building
P. O. Box 1631
Knoxville, Tennessee 37901

Dear Mr. Elder:

Re: Variance Requests 7-A-19-VA, 7-B-19-VA, 7-C-19-VA, 7-E-19-VA, and 7-F-19-VA,

We have reviewed our records and, as far as we have been able to determine, KUB has no existing utility facilities located within the variance areas and we have no objection to the requested variances. However, KUB does not release and hereby retains all easements and rights for existing facilities, whether or not identified in our research.

If you have any questions regarding this matter, please call me at (865) 558-2483.

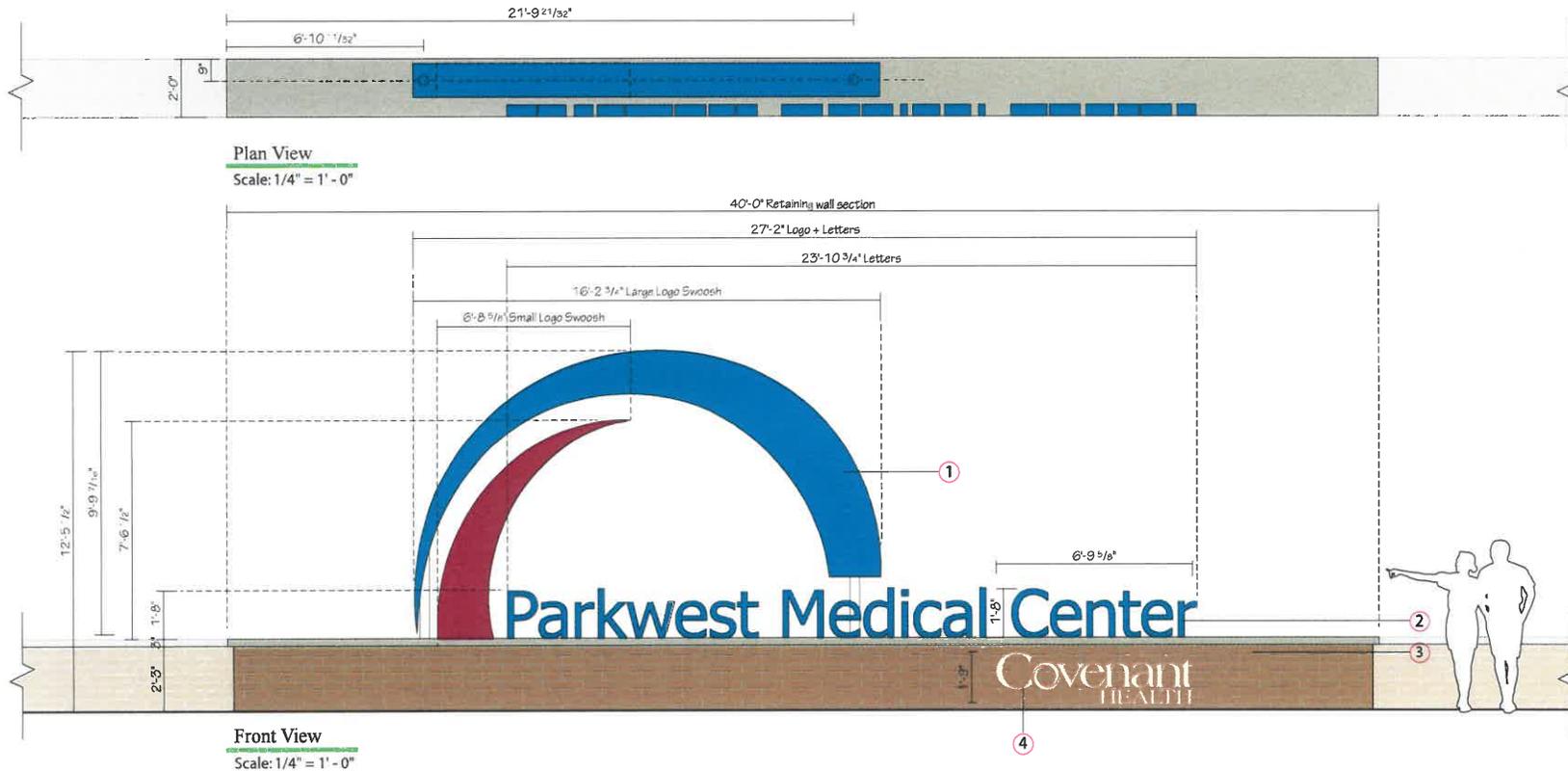
Sincerely,



Christian G. Wiberley, PE
Engineering

CGW

NO EXISTING SIGNAGE NEW CONSTRUCTION



Expansion Project 2017

Date: 09/21/17

Revised: 05/10/19

Drawn by: AJS

Scale: As Noted in Drawing

File Name: Loc 02.ai

File Folder: P> Parkwest Medical Center>Parkwest Expansion 2017> Shop Drawing> Exterior

Project Manager: CSR

Sign Type: **Campus ID**

Location: **02**

Non Illuminated Campus Monument ID

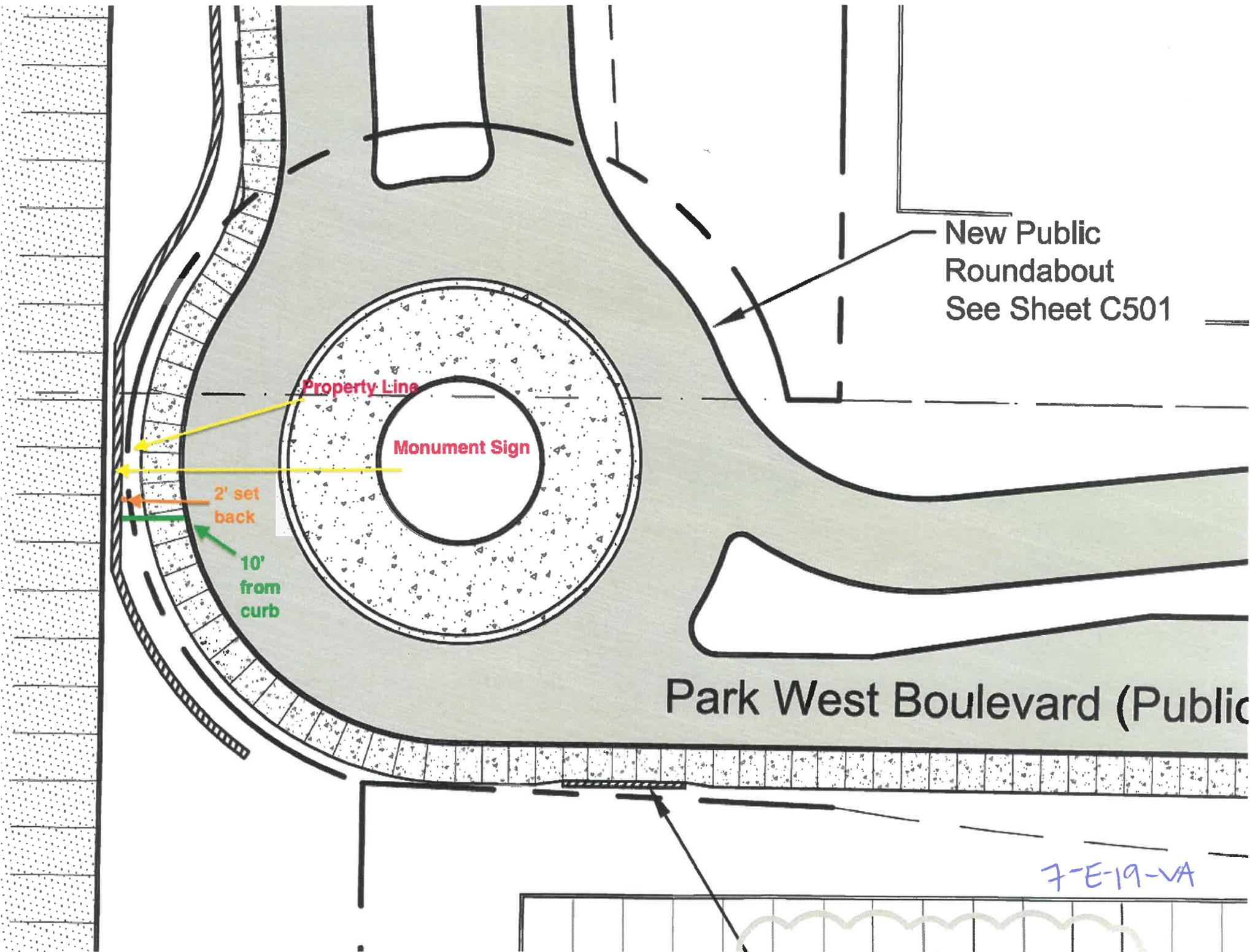


1301 Antioch Pike
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- NOTES:**
- ① Fabricated Aluminum Logo Element, 14" Deep. All Surfaces Painted to match PMS 201c and 294c. Faces, Backs, & Returns to be finished. 4" Sched 40 Pipes for mounting to base.
 - ② 5" Deep Non-Illuminated Channel Letters, all surfaces painted PMS 294c. Faces, Backs, & Returns to be finished.
 - ③ EXISTING Brick Base / Retaining Wall and Stone Cap By Others. Ground Lighting By Others.
 - ④ 1/4" Thick Flat Cut Aluminum Logo painted White. Stud Mounted to Brick Base.

7-E-19-VA



New Public Roundabout
See Sheet C501

Property Line

Monument Sign

2' set back

10' from curb

Park West Boulevard (Public)

7-E-19-VA



7-E-19-VA