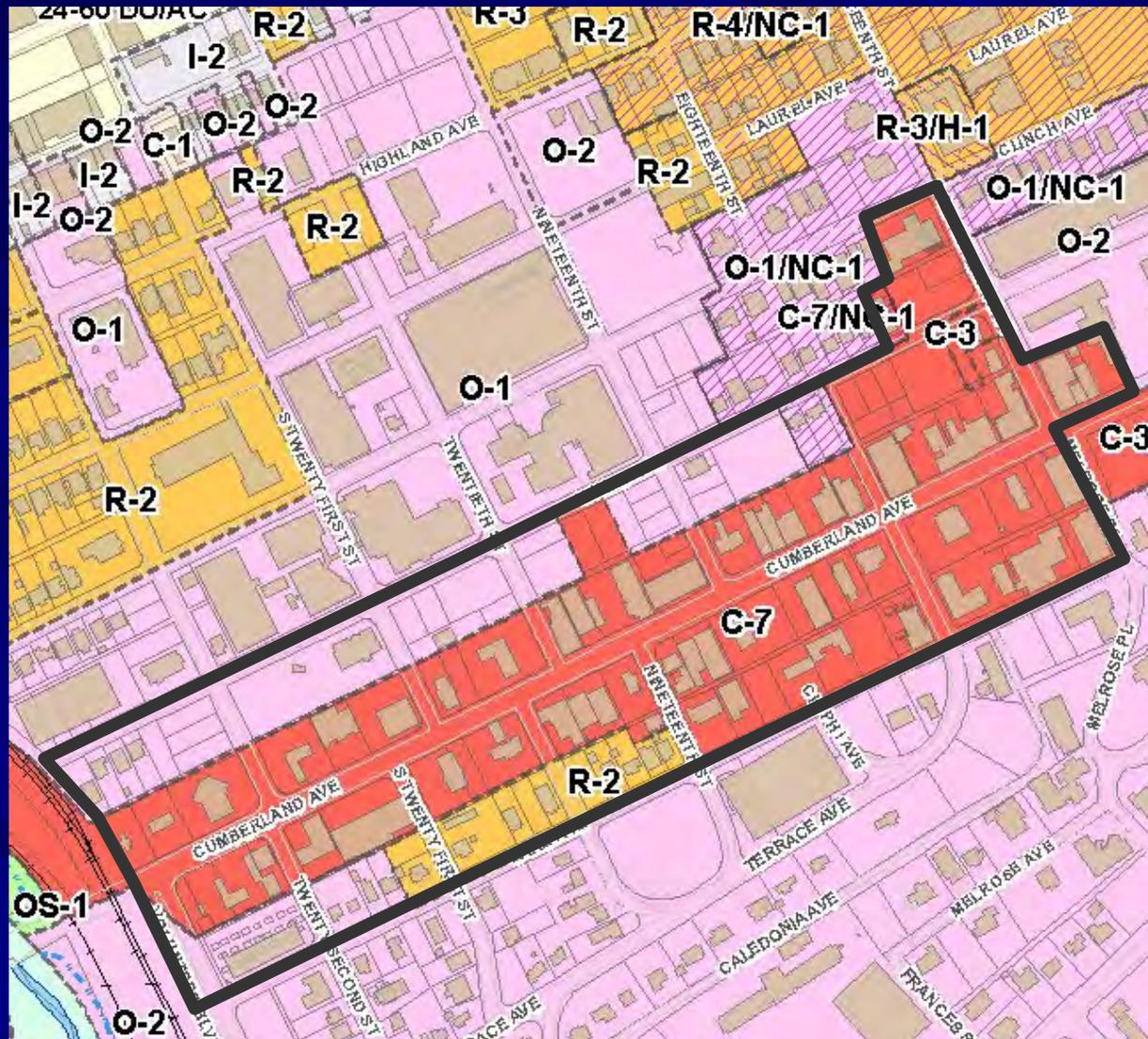


Cumberland Avenue

Form Based Zone District

July, 2008

Proposed Form District Boundary



General Form District Regulations

- General Provisions
- Specific Form District Regulations
- Architectural Standards
- Street Specifications
- Streetscape Standards
- Sign Standards
- Parking Requirements
- Amendments and Deviations

Specific Form District Regulations

- Regulating Plan
- Height Requirements
- Siting Requirements
- Required Building Elements
- Use Requirements

A HISTORY OF CONNECTION



DRAFT
January 22, 2007

CUMBERLAND AVENUE CORRIDOR STUDY
Knoxville, Tennessee

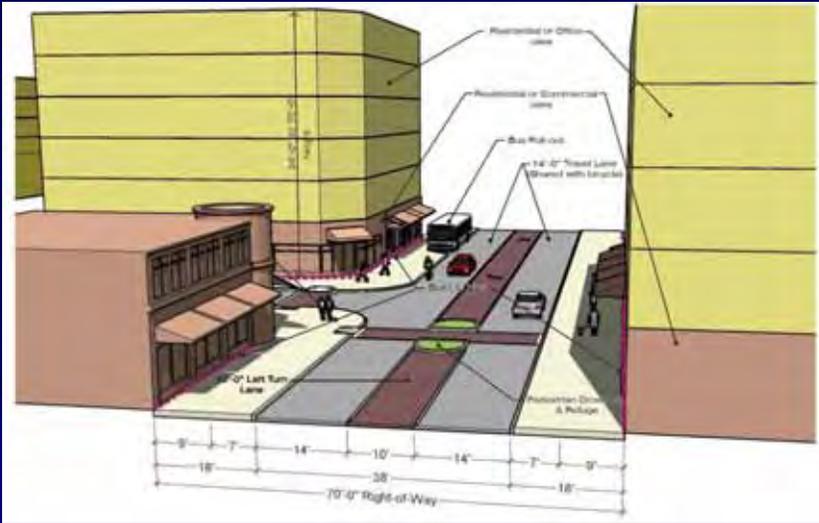
Cumberland Avenue Design Standards



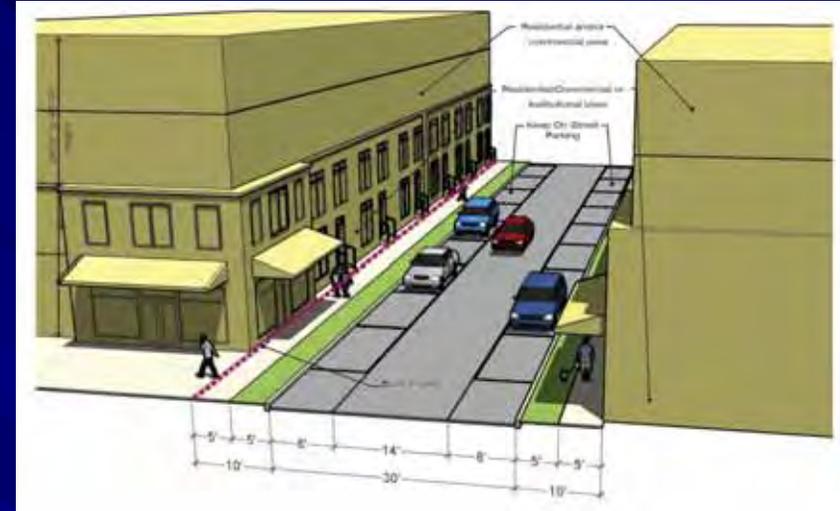
Frontages



Frontages



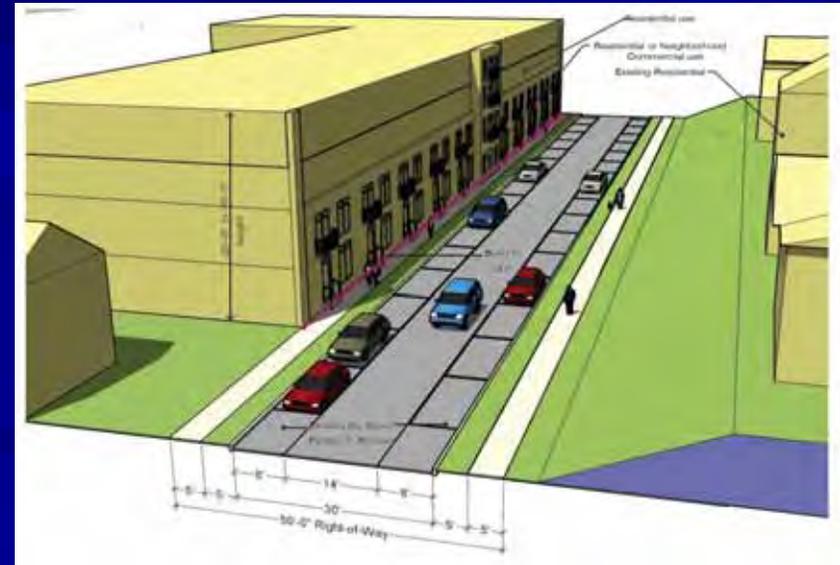
Cumberland Avenue



Lake Avenue



White Avenue - Hospital



White Avenue - Neighborhood

Key Criteria

■ Required Building Line (RBL)

- Property line adjacent to street R-O-W, except for White Avenue (5' – 15')

■ 80% Minimum Building Frontage at RBL

■ Street wall required at balance of RBL

- Purpose: Building facades and walls contribute to framing the street-space

Key Criteria

■ Height

– Minimum Height

- | | |
|--------------------------|-------|
| ■ Cumberland Avenue | 30 FT |
| ■ White and Lake Avenues | 20 FT |

– Maximum Height

- | | |
|-------------------------------------|-------|
| ■ Cumberland Avenue | 70 FT |
| ■ White (Hospital) and Lake Avenues | 70 FT |
| ■ White (Neighborhood) | 35 FT |

– Bonus Height

- Additional 15 FT with a 10 FT stepback

Key Criteria

■ Garage and Parking Sites

- Parking located at rear of property or setback 20 feet from Avenue ROW (except in a parking structure)
- Driveways prohibited along Cumberland, discouraged along White and Lake
- Access to rear parking from alley or side streets

Key Criteria

■ Required Building Elements

- No blank walls greater than 20 FT
- Constrained window views toward adjacent lots
- Ground floor no lower than adjacent sidewalk
- Outdoor seating areas (no deeper than 20 FT) may serve to meet the RBL frontage requirement.

Street Cross Sections

■ Cumberland Avenue (70 FT)

- Two 16 FT pedestrian areas with plantings
- Two 14 FT travel lanes
- One 10 FT turn lane

■ White and Lake Avenues (50 FT)

- Two 5 FT sidewalks
- Two 5 FT planting Strips
- Two 8 FT parking lanes
- One 11 FT travel lane

Street Cross Sections

- Side Streets (50 FT)
- Current mix of cross sections
- Desire for two way traffic
- May have to move planting strips out of ROW
- Montcastle Esplanade (150 FT ROW)
- Other Side Streets (50 FT)
 - Two 6 FT sidewalks
 - Two 8 FT parking lanes
 - Two 11 FT travel lanes

Street Cross Sections

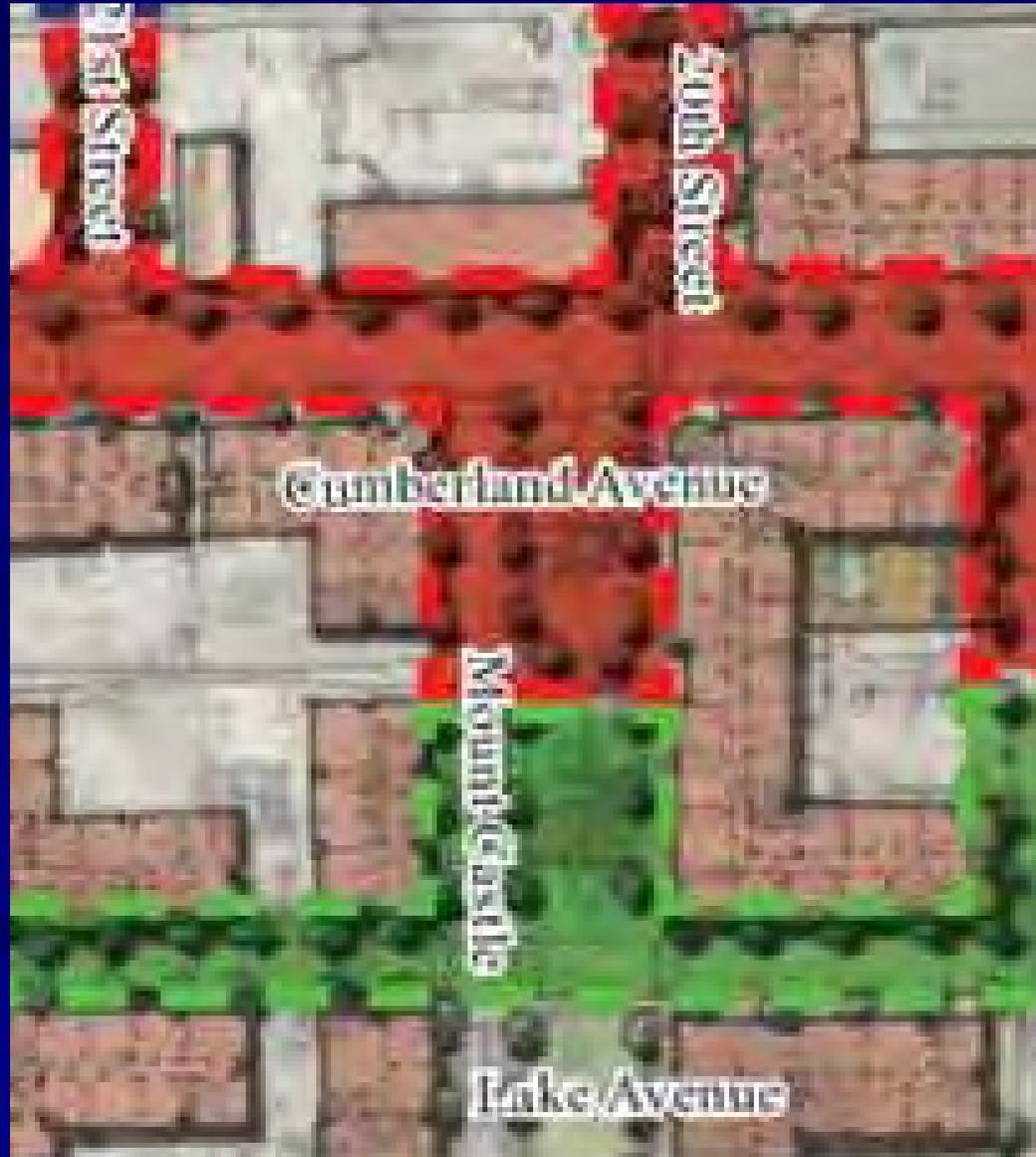
■ Montcastle Esplanade (150 FT ROW)

- Two 10 FT sidewalks
- Two 10 Ft planting strips
- Two 8 FT parking lanes
- Two 14 FT travel lanes
- One 66 FT Median/Plaza

■ Alleys Required

- 20 FT ROW

Montcastle Esplanade



Key Criteria

■ Ground Floor Land Uses

- Commercial, Office, Civic, Residential
- On Cumberland Avenue, only residential foyer or common areas may be on ground floor

■ Upper Floor Land Uses

- Commercial, Office, Civic or Residential
- No commercial, office or civic above residential

Key Criteria

■ Windows and Door Fenestration on Facade

– Cumberland Avenue Ground Floor

■ Minimum 75%

■ Maximum 90%

– Other Street Ground Floors

■ Minimum 40%

■ Maximum 90%

– Upper Floors

■ Minimum 20%

■ Maximum 60%

Key Criteria

■ Parking Requirements

– Residential Uses

- Minimum of 1 1/8 spaces per unit, with 1/8 as shared parking
- Maximum of 2 spaces per unit
- No maximum on shared parking

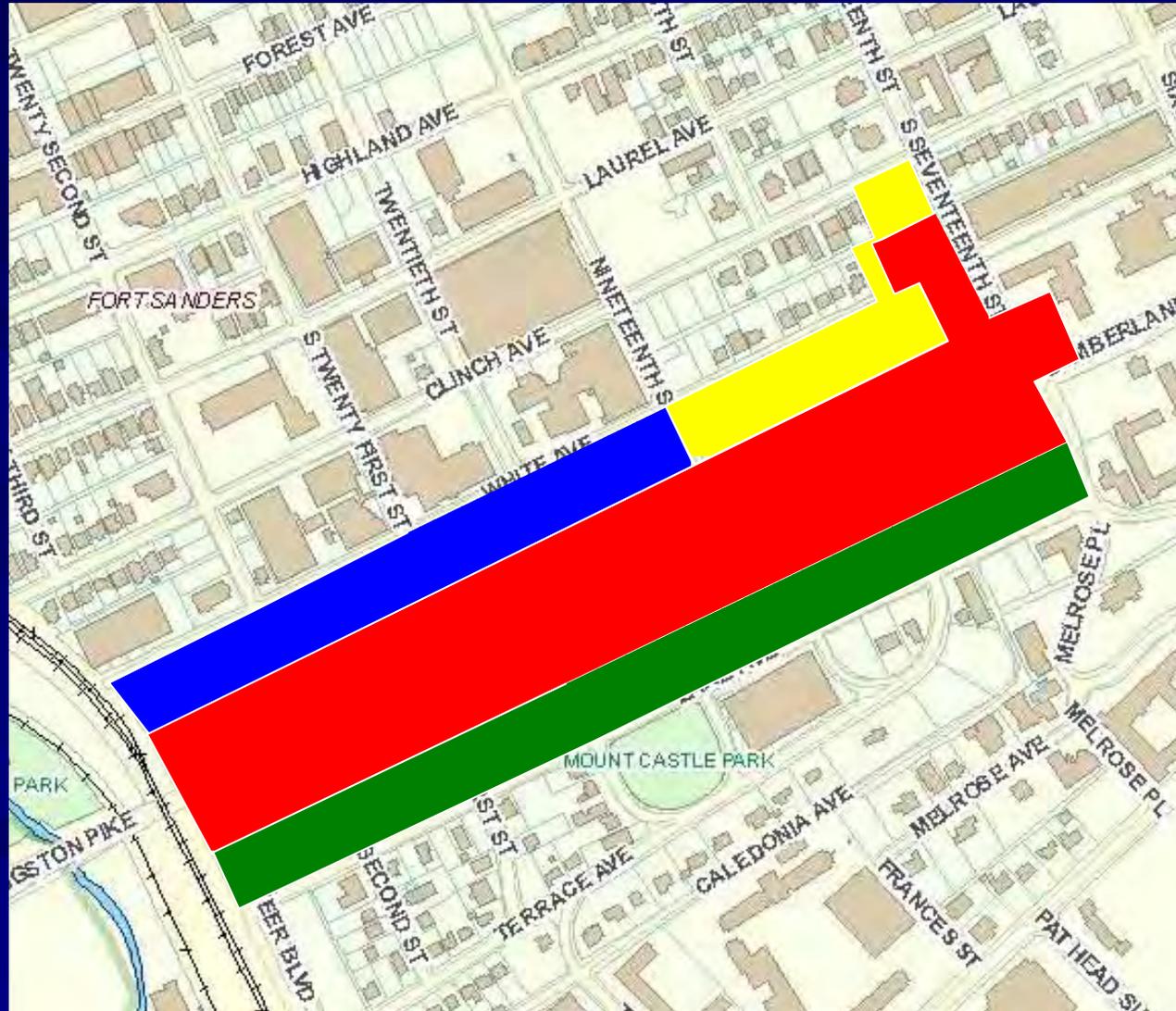
– Non-residential Uses

- No minimum, but a maximum of 3 spaces per 1,000 SF reserved for on-site uses
- No maximum on shared parking

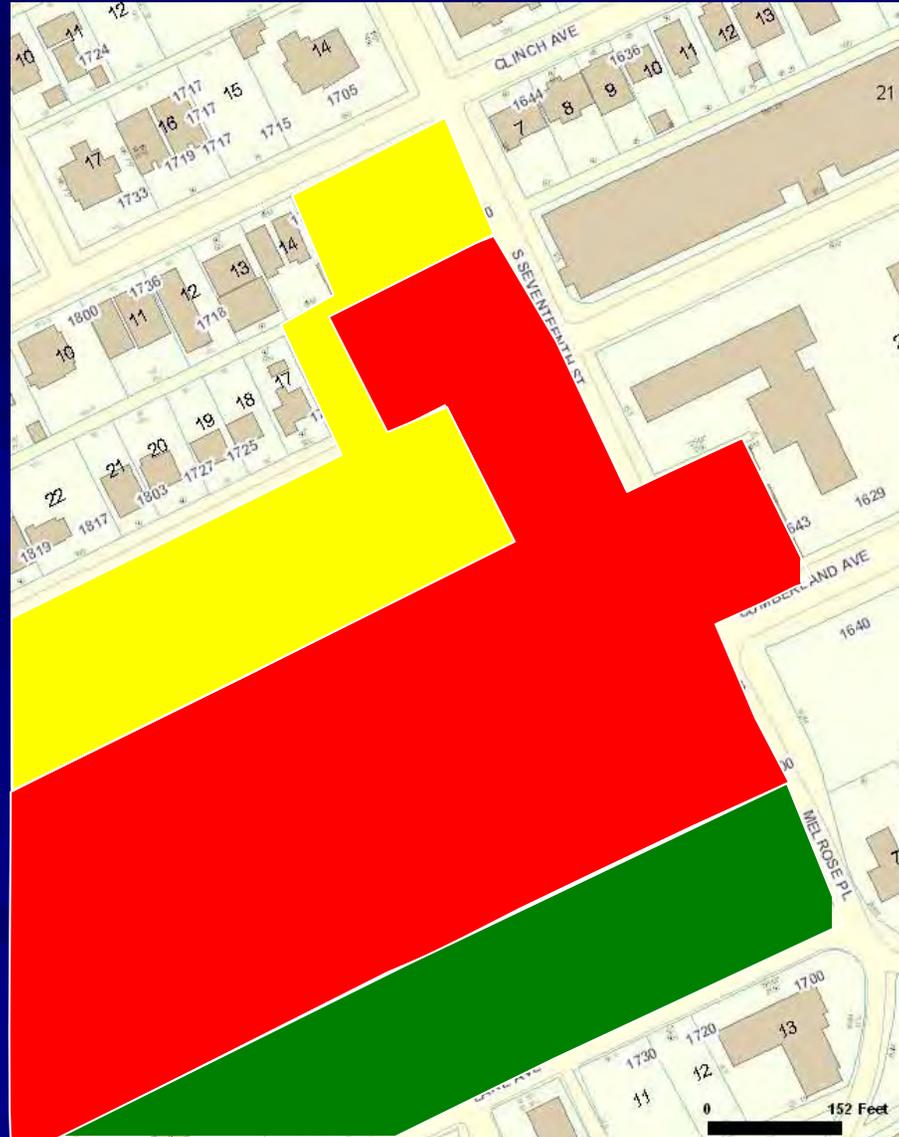
Key Sign Criteria

- One SF per LF of building frontage
 - Storefront Signs
 - Arcade and Hanging Signs
 - Awning and Canopy Signs
 - Projecting Signs
 - Window Signs
 - Wall Signs
 - May be located in band at top of ground floor and just below roof line
 - No roof, monument, ground, or column signs

All-Districts



Proposed Form District

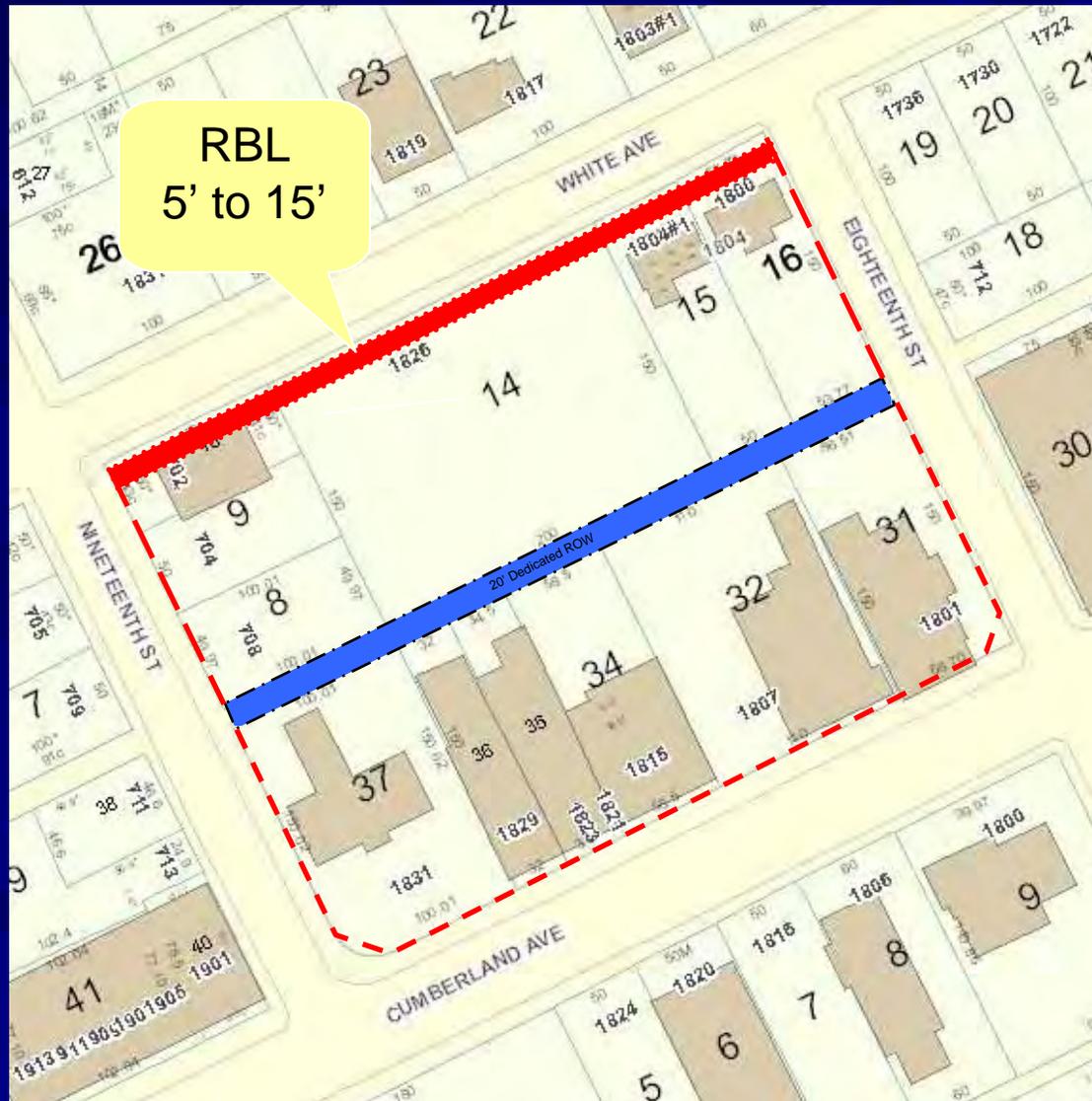


Example of RBL

Proposed
Montcastle
Esplanade
(150' ROW)



Example of RBL



Next Steps

- August 14 MPC agenda
- September 9 and September 23 City Council meetings